

COVERPAGE FOR:
PHILCO CONSTRUCTION
MODIFICATION OF SP-2410
2611 GUAVA DRIVE
EDGEWATER, FLORIDA

PROPERTY OWNER:
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223 CANAL ST. STE. A
NEW SMYRNA BEACH, FL. 32168

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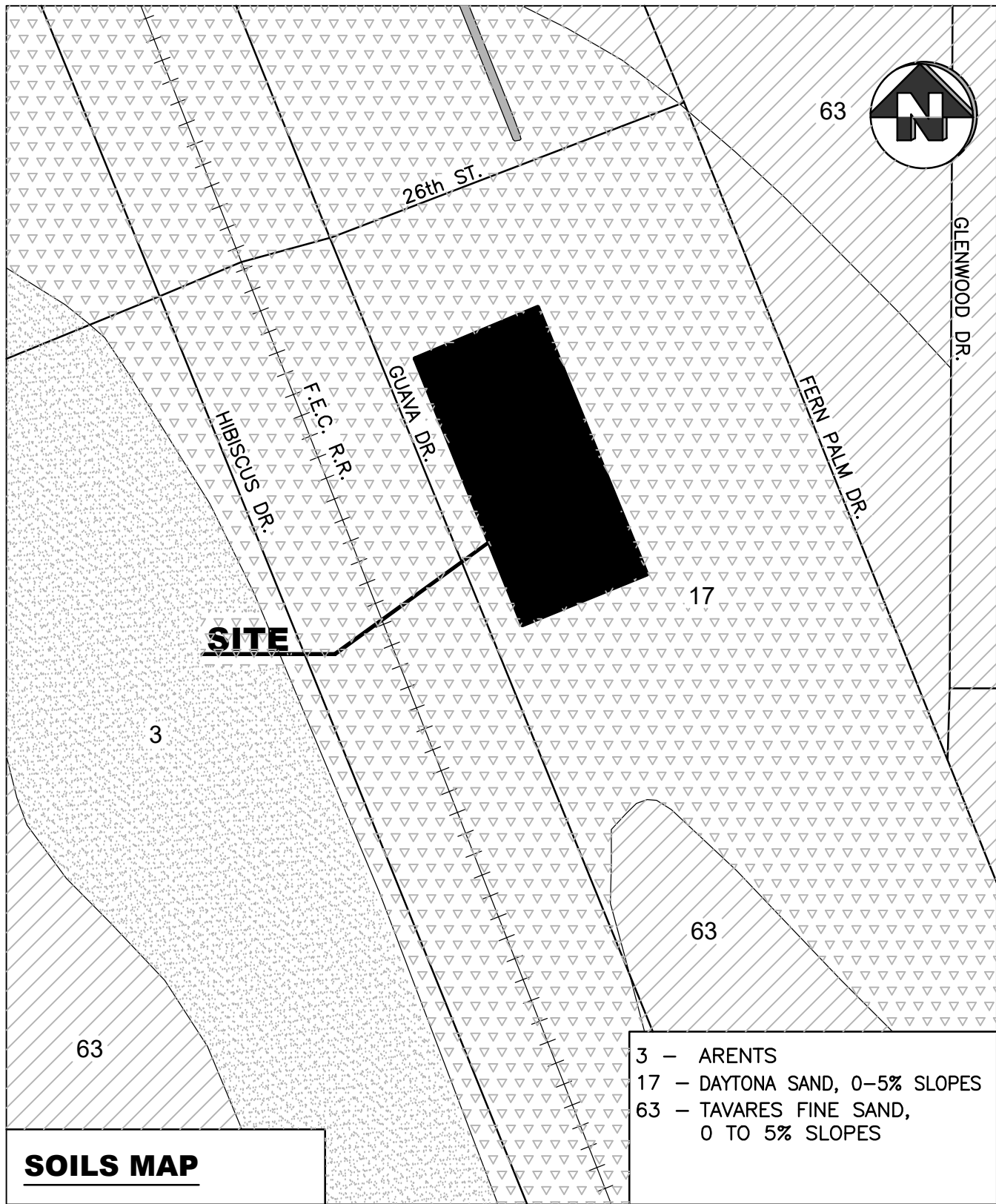
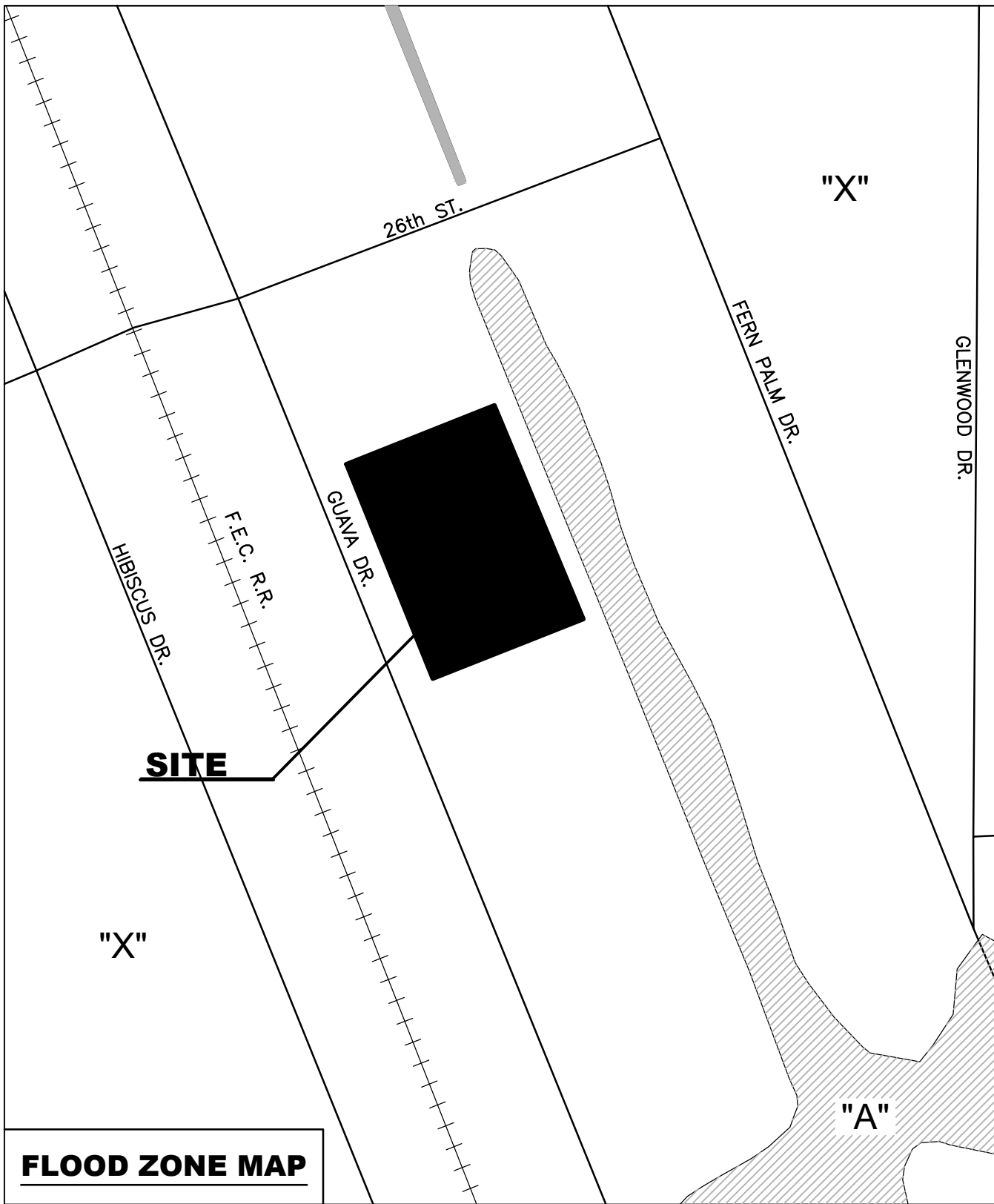
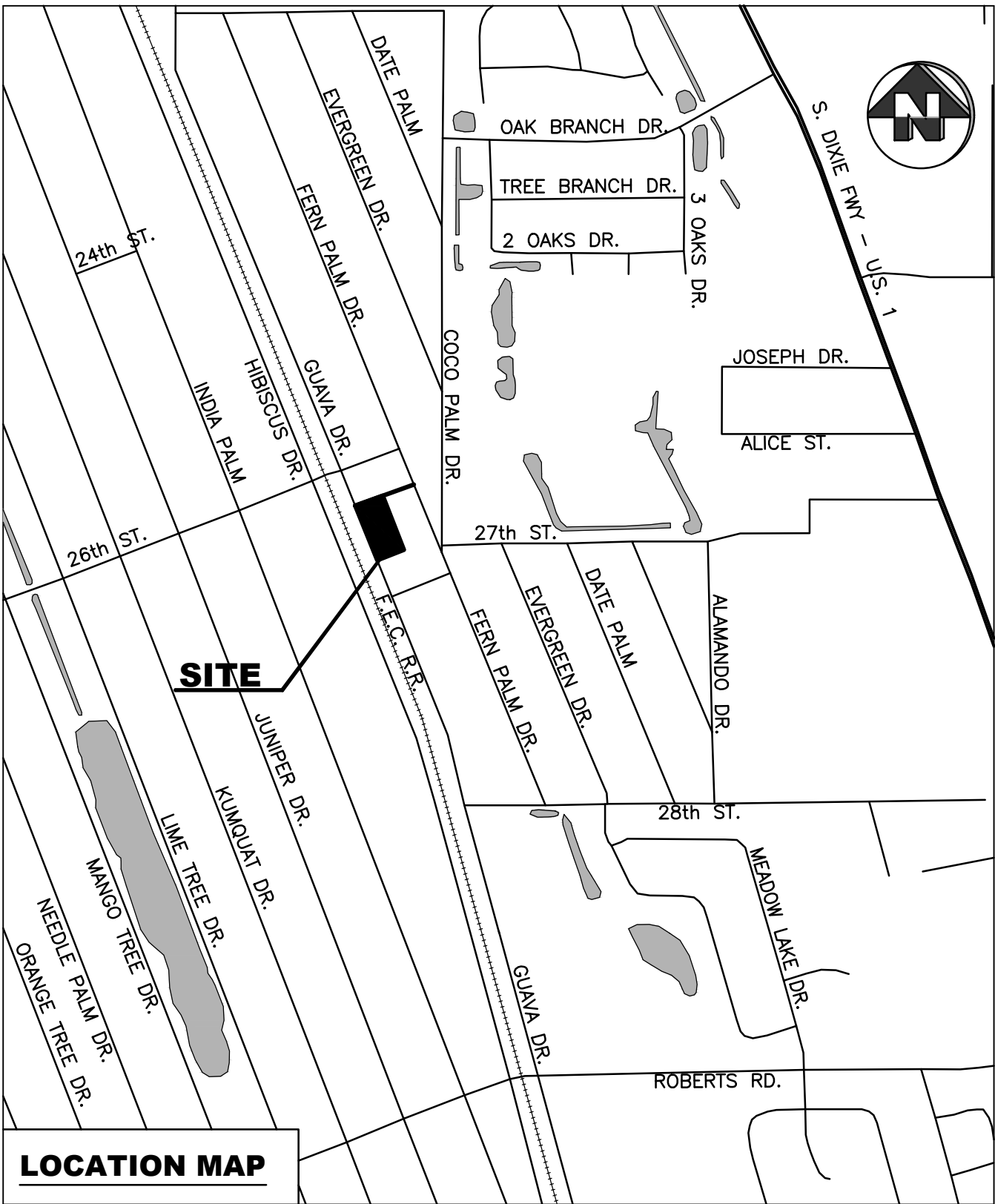
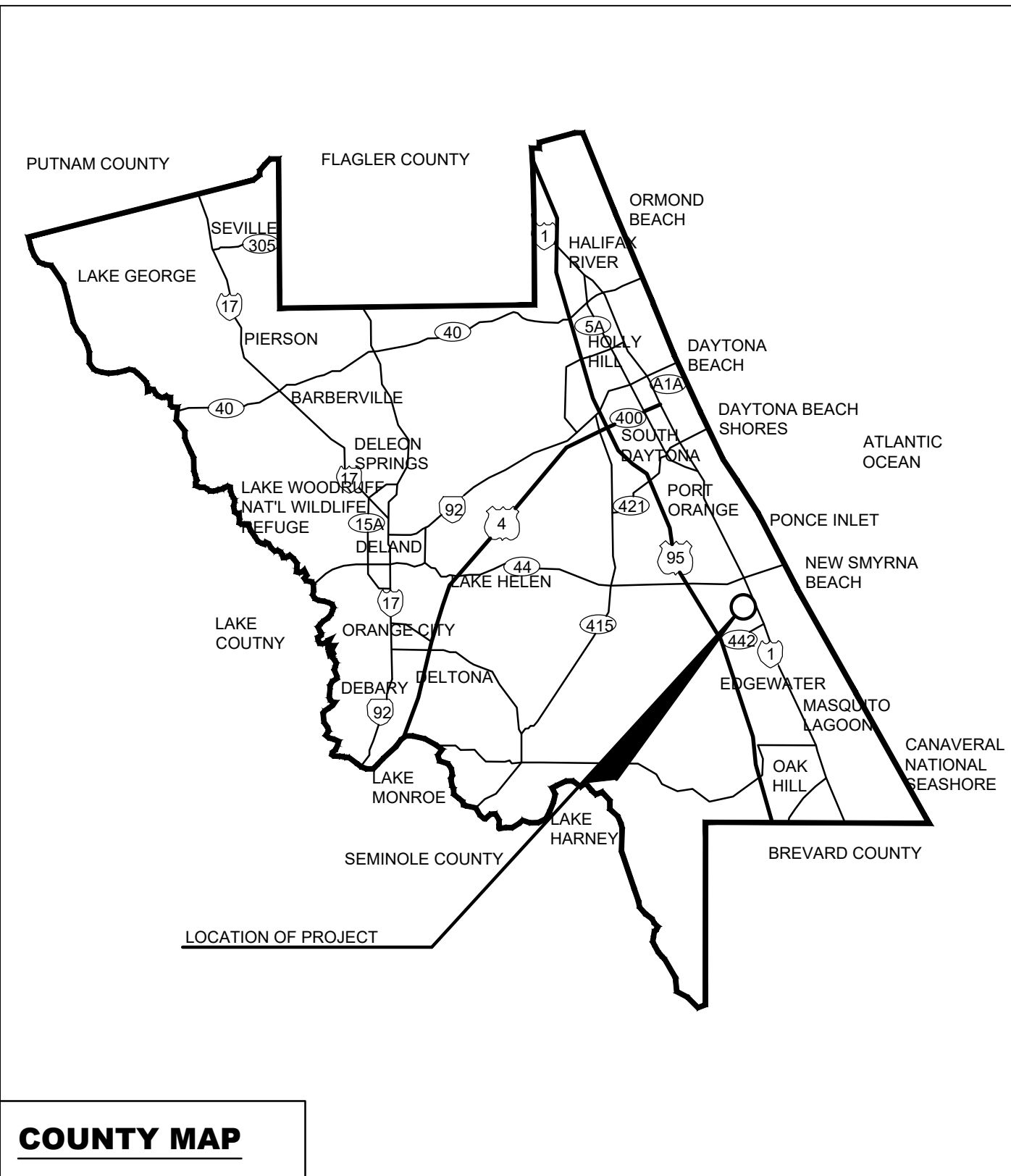
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DRAINAGE ENGINEER:
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PROJECT DATA:

— PARCEL ID: 8402-01-06-6770
— LEGAL DESCRIPTION:
LOTS 6677 & 6678 BLK 216 FLORIDA SHORES NO 7 MB 23 PGS
117-118 INC PER OR 3609 PG 0186 PER OR 6167 PGS
1943-1944 PER OR 7414 PGS 4605-4606 PER OR 8221 PG 1477
PER OR 8351 PG 1430 P

SITE DATA:

LOT SIZE: 26,392 SQ. FT.
(.61 ACRE)

MAXIMUM BUILDING COVERAGE: 30%
PROPOSED BUILDING COVERAGE (SQ. FT.): 5,000 SQ. FT.
PROPOSED BUILDING COVERAGE (%): 19%

MAXIMUM IMPERVIOUS COVERAGE: 75%
PROPOSED IMPERVIOUS COVERAGE(SQ. FT.): 13,165 SQ. FT.
PROPOSED IMPERVIOUS COVERAGE(%): 50%

MAXIMUM BUILDING HEIGHT 26 FEET
PROPOSED BUILDING HEIGHT 25 FEET

PARKING CALCULATIONS:

WAREHOUSE 1 PER 1,000 SQ. FT.
5,000 S.F./1,000 = 5

TOTAL REQUIRED: = 5 SPACES
TOTAL PROVIDED: = 6 SPACES
(1) A.D.A. SPACE PROVIDED

UTILITY INFORMATION:

SEWER — CITY OF EDGEWATER
WATER — CITY OF EDGEWATER
ELECTRIC — FLORIDA POWER & LIGHT

FLOOD DATA:

PROJECT IS LOCATED IN FLOOD ZONE "X" PER PROJECT SURVEY BY CORY LAND SURVEYING.

SOIL DATA:

SOIL DATA IS CLASSIFIED AS TAVARES FINE SAND PER THE SOIL SURVEY OF VOLUSIA COUNTY, FLORIDA.

ZONING: B-2

BUILDING SETBACKS:

FRONT 40'
REAR: 20'
SIDES: 10'

LANDSCAPE BUFFERS:

FRONT 10'
REAR: 20'
SIDES: 10'

*PER APPROVED VARIANCE #VA-26-01900006

PROJECT SCOPE:

— CONSTRUCT A 5,000 SQUARE FOOT WAREHOUSE WITH PARKING, UTILITIES, STORMWATER MANAGEMENT, AND LANDSCAPING.
— THIS IS A REDESIGN OF SP-2410 DUE TO THIS PROJECT SITE BEING EXPANDED TO THREE LOTS.

PROJECT CRITERIA:

— CITY OF EDGEWATER SITE PLAN PERMIT REQUIRED.
— CITY OF EDGEWATER STORMWATER CRITERIA IS 100 YEAR/24 HOURS FOR SYSTEMS WITH DISCHARGE TO A PUBLIC CONVEYANCE. ADDITIONALLY THE POST DEVELOPMENT DISCHARGE WILL BE 90% OF THE PRE DEVELOPMENT DISCHARGE.

— ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT REQUIRED.
— N.P.D.E.S. PERMIT REQUIRED BY PROJECT GENERAL CONTRACTOR

INDEX OF DRAWINGS

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"PERMIT SUBMITTAL SET"

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PHILCO CONSTRUCTION
2611 GUAVA DRIVE
EDGEWATER, FLORIDA

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01-27-26

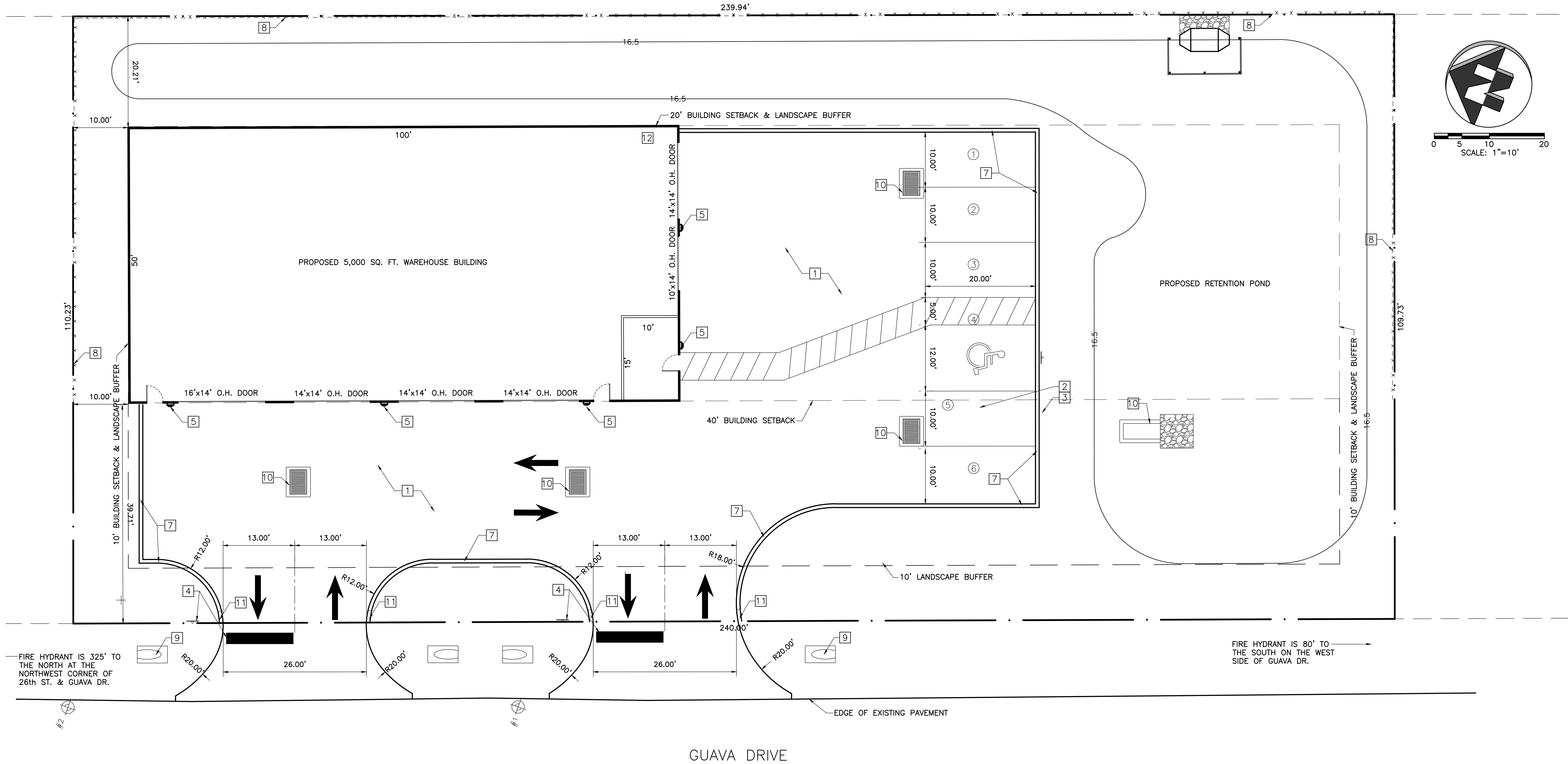
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REV.	DATE:	NOTES:	R.A.I. #1 - CITY COMMENTS
1	06-02-26		
DRAFTER: DBA		CLIENT: PHILCO CONSTRUCTION	
CHECKED BY: RD		PROJECT NO. 24-1424	

SHEET NO.
C-1

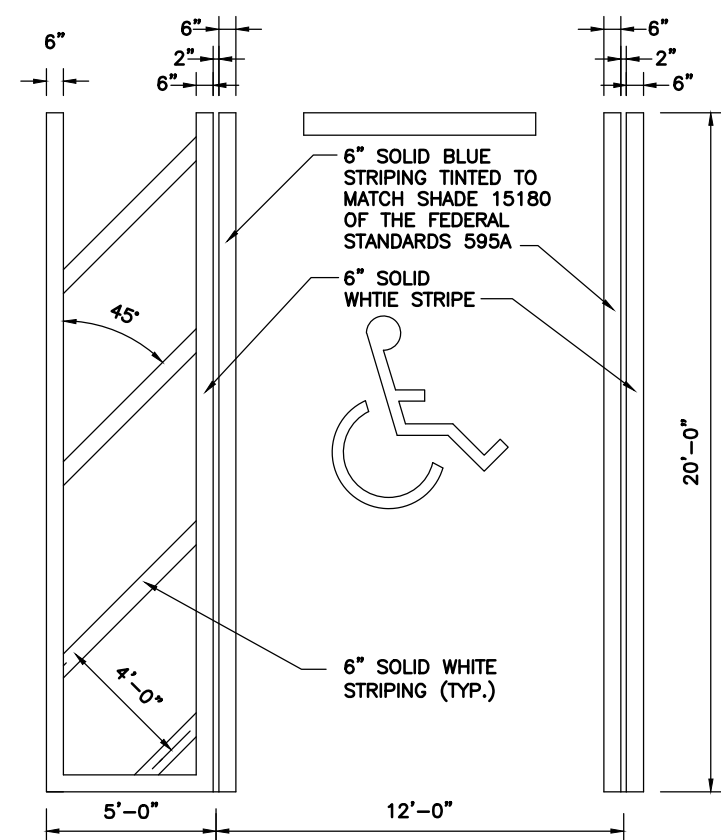
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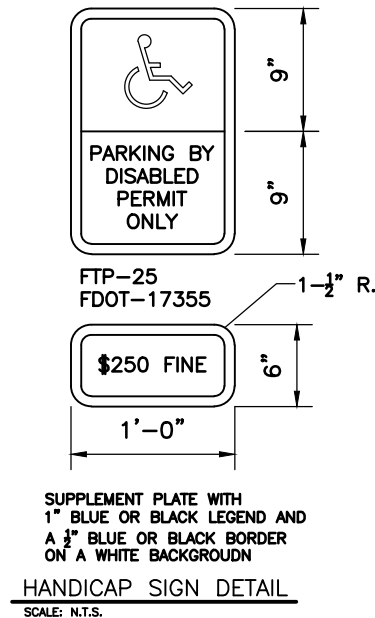
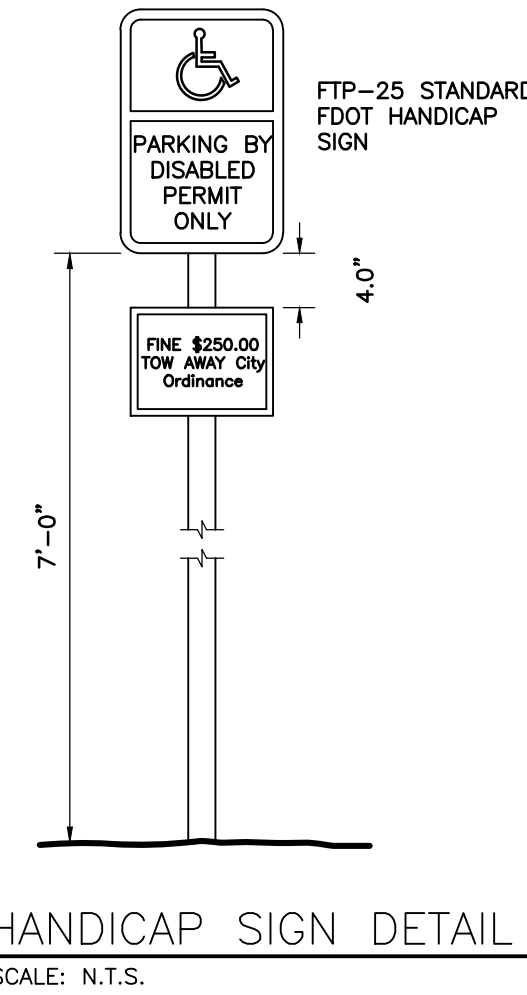
LEGEND			
—SILT—	SILT FENCE	—S—	SEWER LINES
—W—	WATER LINES	—P—	PROPERTY LINES
—OU—	OVERHEAD ELECTRIC	○	SITE LIGHTING

- SITE PLAN CONSTRUCTION NOTES**
- PROPOSED CONCRETE PAVING PARKING AREA AND DRIVE AISLES WITH 8" HEADER CURBS.
 - PROPOSED CONCRETE PAVED A.D.A SPACE AND A.D.A STRIPING, SEE CITY DETAIL M-9 AND PROPOSED GRADES ON SHEET C-4.
 - PROPOSED HANDICAP PARKING SIGN, SEE CITY DETAIL M-10.
 - PROPOSED R1-1,24" STOP SIGN AND 24" STOP BAR. SEE DETAIL THIS SHEET.
 - PROPOSED SITE LIGHTING TO BE WALL PACK LIGHTS MOUNTED ON THE PROPOSED METAL BUILDING AND ONE POLE MOUNTED LIGHT..
 - CLOSEST FIRE HYDRANT TO SOUTH IS 80'+/- SOUTH OF THE SOUTH PROPERTY LINE.
 - PROPOSED HEADER CURB, SEE CITY DETAIL R-9.
 - 6" HGT. VINYL FENCE ALONG REAR AND SIDE PROPERTY LINES(UP TO POINT OF THE FRONT SETBACK LINE) PER REQUIREMENT OF CITY VARIANCE #26-1900006.
 - 15" HDPE PIPE WITH MITERED ENDS.
 - STORM DRAIN STRUCTURE. SEE SHEET C-5 FOR DETAILS.
 - 3' HEADER CURB TRANSITION(TYPICAL).
 - GARBAGE TOTES TO BE STORED INSIDE WAREHOUSE BUILDING.

- SITE PLAN GENERAL NOTES**
- CONSTRUCT PROPOSED PARKING, DRIVES AND RETENTION SYSTEM PER THESE PLAN SHEETS, CITY OF EDGEWATER LAND DEVELOPMENT REGULATIONS, AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT CRITERIA.
 - EROSION CONTROL MUST BE MAINTAINED THROUGHOUT CONSTRUCTION, SEE CLEARING PLAN AND CITY STANDARDS. SEE CITY DETAILS R-25.
 - ELEVATIONS SHOWN ARE GIVEN IN N.A.V.D. 1988 DATUM, SEE PAVING AND GRADING PLAN.
 - PROJECT IS LOCATED IN FLOOD ZONE X, PER SURVEY BY IRELAND & ASSOCIATES SURVEYING.
 - FOR FURTHER CONSTRUCTION DETAILS SEE ALSO PAVING/GRADING/STORMWATER AND DETAIL SHEETS.
 - CONTACT ENGINEER OF RECORD IMMEDIATELY IF ANY DISCREPANCIES IN DIMENSIONS OR OTHERWISE HAS OCCURRED IN THESE PLANS.
 - TRASH COLLECTION WILL BE PER ROLL OUT TOTES.
 - CONTRACTOR TO PROVIDE AS-BUILT INFORMATION OF ALL SITE WORK FOR REVIEW BY ENGINEER OF RECORD AND SUBMITTAL TO CITY. AS-BUILT DRAWING TO INCLUDE PAVING, CURBS, STORMWATER INLET & PIPES, AND GRADE/ELEVATION DATA. SEE CITY DETAILS M-11 AND M-12.
 - CONTACT CITY ENGINEER PRIOR TO CONSTRUCTION TO SET UP PRE-CONSTRUCTION CONFERENCE.
 - ALL CONSTRUCTION IN THE RIGHT OF WAY SHALL CONFORM TO CITY OF EDGEWATER STANDARD CONSTRUCTION DETAILS.



- NOTES:**
- TOP PORTION OF FTP-25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - PERPENDICULAR AND DIAGONAL HANDICAPPED PARKING STALLS WILL BE 12 FT. WIDE AND 20 FT. LONG WITH A 5 FT. WIDE ACCESS AISLE ADJACENT TO EACH STALL. THE 5 FT. WIDE ACCESS AISLE MAY BE SHARED BY TWO ADJACENT HANDICAPPED PARKING STALLS.
 - PARALLEL HANDICAPPED PARKING STALLS WILL BE 12 FT. WIDE AND 22 FT. LONG WITH A 5 FT. WIDE ACCESS AISLE ADJACENT TO EACH STALL.
 - ALL HANDICAPPED PARKING STALLS, 5 FT. WIDE ACCESS AISLE, HANDICAPPED RAMPS, AND ACCESSIBLE ROUTES MUST BE PAVED.
 - HANDICAP SPACE AND AISLE TO BE SLOPED AT A MAX. OF 1:48
 - ONE FTP-25 OR FTP-26 SIGN WITH SUPPLEMENTAL SIGN IS REQUIRED FOR EACH HANDICAPPED PARKING STALLS.
 - BOTTOM EDGE OF SIGN TO BE 7'-0" ABOVE PAVEMENT.
 - BLUE STRIPING SHALL BE TINTED TO MATCH SHADE 15180 OF THE FEDERAL STANDARDS 595C.
 - ALL HANDICAPPED RAMPS(NOT ACCESS AISLES) SHALL BE A MINIMUM OF 60" WIDE EXCLUSIVE OF THE FLARED SIDES WITH A MAXIMUM SLOPE OF 12:1 RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT INDEX NO. 304



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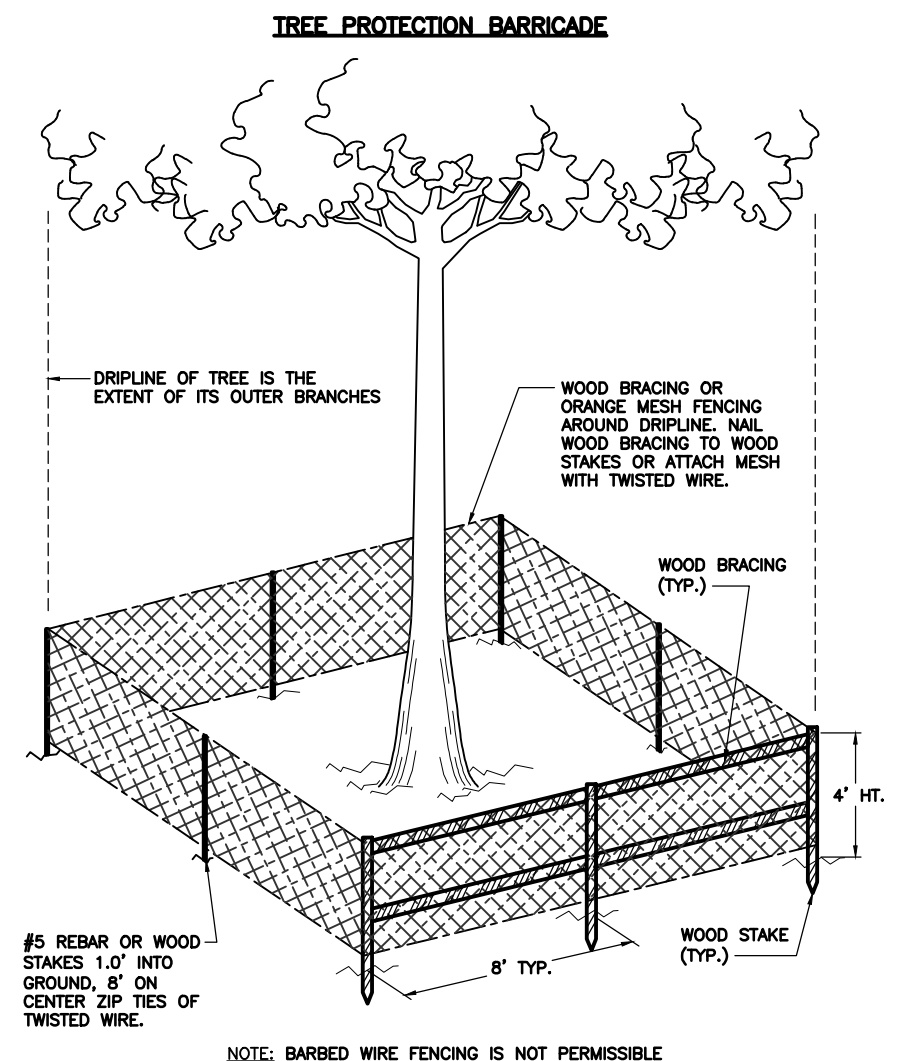
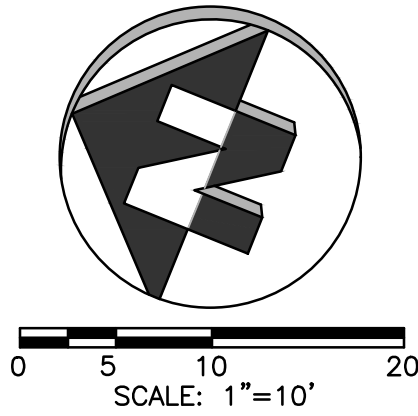
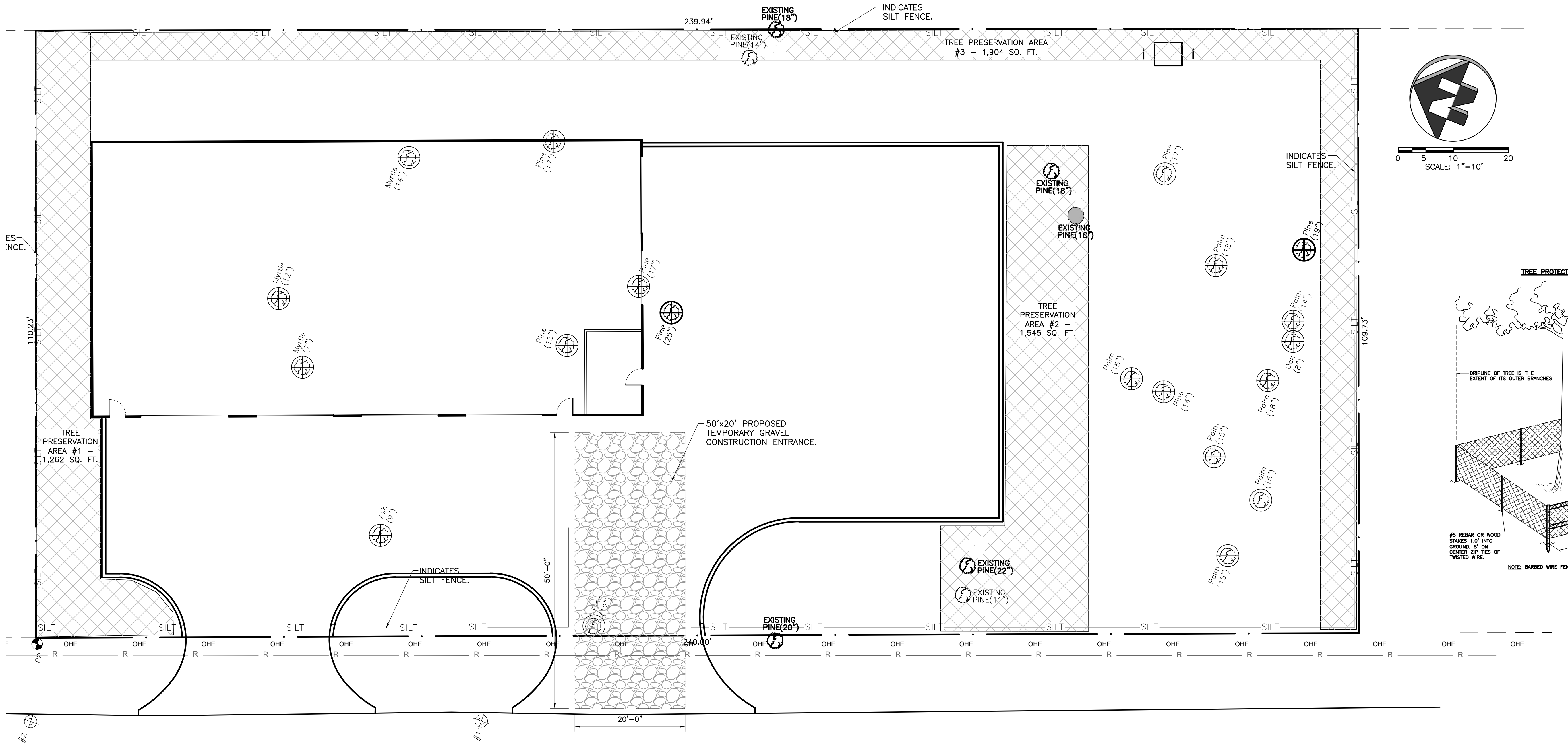
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			CHECKED BY: RD
			PROJECT NO. 24-1424

SHEET NO.
C-2

DATE:
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LEGEND	
	PROPERTY LINE
	SILT FENCE
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED.
	PROPOSED TREE PRESERVATION AREA.

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DEMOLITION/EROSION NOTES

- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES BEFORE STARTING DEMOLITION / CLEARING.
- NO WORK SHALL BE PERFORMED OUTSIDE OF SILT FENCE/LIMITS OF CONSTRUCTION LINE, EXCEPT FOR UTILITY AND DRIVEWAY CONNECTIONS.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
- SWALES AND GRASSED AREAS WILL BE MOWED AS NECESSARY AND ARE TO BE CHECKED PERIODICALLY FOR EROSION, ALL TO BE MAINTAINED BY OWNER ONCE CONSTRUCTION IS COMPLETED.
- SEE TREE PROTECTION DETAIL THIS SHEET, PROVIDE TREE PROTECTION AROUND ALL EXISTING TREES TO REMAIN ON SITE.
- SILT FENCE TO BE LOCATED JUST IN SIDE OF PROPERTY LINES.
- CONTRACTOR TO REMOVE ALL ORGANIC SOILS AND ORGANIC DEBRIS WHICH MAY EXIST BENEATH THE BUILDING, DRIVEWAY, AND PARKING AREA FOOTPRINTS.
- ENGINEERING AND TREE SURVEY PERFORMED BY IRLAND SURVEYING.
- THE CITY OF EDGEWATER REQUIRES THAT A DUMPSTER OF SUITABLE SIZE SHALL BE PROVIDED DURING THE ENTIRE CONSTRUCTION PROCESS. THE DUMPSTER SHALL BE EMPTIED AND REPLACED AS NEEDED. ALL REFUSE SHALL BE DISPOSED OF AT A PERMITTED WASTE DISPOSAL FACILITY.
- SEE TREE PRESERVATION DETAIL THIS SHEET.
- SEE DETAILS R-25 AND R-26 ON THIS SHEET FOR CITY SITE CLEARING REQUIREMENTS.

TREE PRESERVATION AREA NOTES:

- TREE PRESERVATION IS REQUIRED TO BE 15% OF THIS SITE WHICH IS 3,959 SQUARE FEET.
- PROPOSED TREE PRESERVATION AREA TO BE 4,711 SQUARE FEET.
- THIS SITE CONTAINS (6) SPECIMEN TREES. (5) SPECIMEN TREES TO REMAIN.

CONTRACTOR REQUIREMENTS FOR SITE CLEARING, GRADING, AND EROSION CONTROL DESIGN AND CONSTRUCTION NOTES

THE FOLLOWING MEASURES REPRESENT MINIMUM STANDARDS TO BE ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION OF A PROJECT. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO BE EMPLOYED WHEN WARRANTED BY EXTREME CONDITIONS AND/OR THE FAILURE OF THE CONTRACTOR TO EMPLOY THE APPROPRIATE EROSION CONTROL BEST MANAGEMENT PRACTICES. FAILURE TO COMPLY WITH THESE PROVISIONS SHALL RESULT IN THE ISSUANCE OF A "STOP WORK ORDER".

- NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED. THE CONTRACTOR SHALL LOCATE THESE AREAS ON SITE AND BARRICADE THEM TO AVOID ANY UNAUTHORIZED CLEARING, BARRICADES AND OTHER PROTECTIVE FENCING ARE TO BE LOCATED AT THE DROP LINE OF EXISTING NATIVE TREES OR AT THE EDGE OF THE NATIVE UNDER-STORY HABITAT, WHICHEVER IS NEAREST TO THE CONSTRUCTION ACTIVITY.
- SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING. BARRICADES ARE TO BE SET AT THE DROP LINE OF THE TREES AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. BARBED WIRE IS NOT PERMITTED AS A PROTECTIVE BARRIER.
- WHERE A CHANGE OF GRADE OCCURS AT THE DROP LINE OF A SPECIMEN TREE, SILT FENCES WILL BE REQUIRED DURING CONSTRUCTION AND RETAINING WALLS MUST BE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK, INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, MAY SALES, SILT FENCES, AND FLOODING THRESHOLD BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.
- PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES, AND (5) AT ANY ADDITIONAL AREAS THAT THE CITY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 20 FEET OF ANY OF THE aforementioned LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, THE CITY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED AS PART OF THE STANDARD REVIEW OF THE SITE-SPECIFIC CLEARING PERMIT APPLICATION AND THROUGHOUT PROJECT CONSTRUCTION.
- WHERE FILL MATERIAL IS INTENDED TO BE INSTALLED ADJACENT TO EXISTING VEGETATION WHICH IS INTENDED TO REMAIN NATURAL, THE CONTRACTOR MAY INSTALL SILT FENCING AS A TREE PROTECTION MEASURE, IN LIEU OF INSTALLING EITHER WOOD BRACING OR ORANGE MESH FENCING. THIS PROTECTION IS ENCOURAGED BY THE CITY IF THE SILT FENCE IS TO PROVIDE ADEQUATE PROTECTION FROM IMPACT DUE TO CONSTRUCTION, THEN ADDITIONAL CONSTRUCTION FENCING OR WOOD BRACING SHALL BE REQUIRED.
- AT A MINIMUM, THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. SUFFICIENT GRASS COVERAGE IS TO BE ESTABLISHED WITHIN THIRTY DAYS. - DISTURBED AREAS IN CITY RIGHT-OF-WAYS OR CITY PROPERTY SHALL BE SOODED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGH SCHEDULING, TO MINIMIZE THE DISTURBANCE OF SITE AREAS THAT HAVE BEEN BROUGHT TO THEIR PROPOSED FINAL GRADE WITHIN TWENTY DAYS OF BRINGING A SUBJECT AREA TO ITS FINAL GRADE. THE CONTRACTOR SHALL INSTALL SEED AND MULCH OR SOD, AS REQUIRED.

STANDARD CONSTRUCTION DETAIL
CONTRACTOR REQUIREMENTS FOR
SITE CLEARING, GRADING, AND EROSION CONTROL
DESIGN AND CONSTRUCTION NOTES

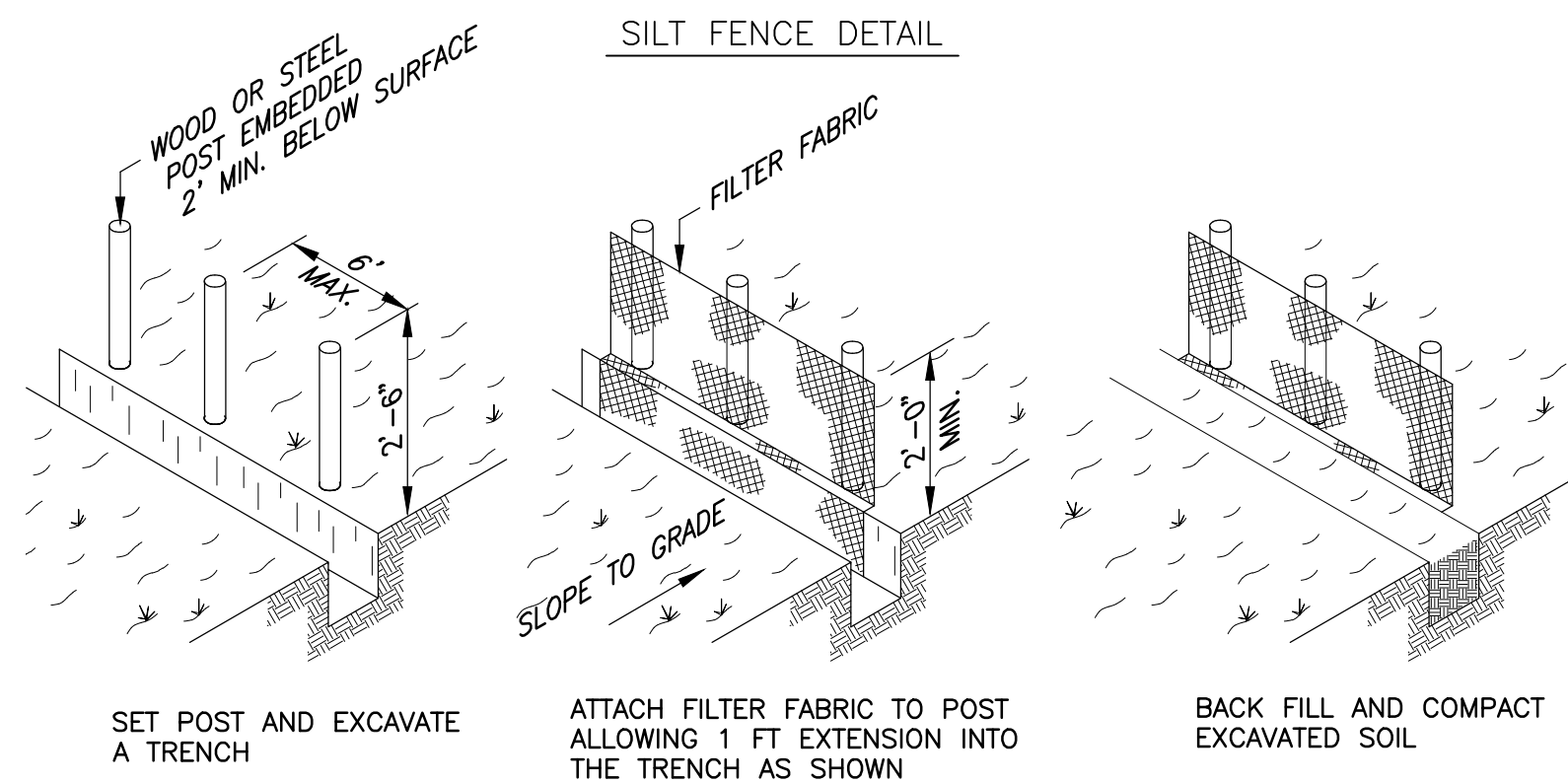
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DETAIL REF:	R-25

CONTRACTOR REQUIREMENTS FOR SITE CLEARING, GRADING, AND EROSION CONTROL DESIGN AND CONSTRUCTION NOTES (CONT.)

- FOR INDIVIDUAL CONSTRUCTION PROJECTS INVOLVING MULTIPLE PHASES, UPON COMPLETION OF EACH PHASE OF THE PROJECT, SEEDING AND MULCHING AND/OR SOODING IS TO BE PERFORMED PRIOR TO COMMENCING THE NEXT PHASE OF CONSTRUCTION.
- ONCE AN AREA IS SEEDDED OR SOODED, IT MUST BE MAINTAINED BY THE CONTRACTOR TO ALLOW THE GRASS TO BECOME ESTABLISHED.
- ANY BURNING OF CLEARED MATERIALS MUST BE INSPECTED AND PERMITTED ON A DAILY BASIS. CONTACT THE CITY FIRE MARSHAL AT 424-2412 PRIOR TO EACH DAY OF DESIRED BURNING.
- ABSOLUTELY NO BURNING OF CLEARED MATERIALS IS PERMITTED.
- THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THOSE AREAS. THE TOPSOIL MAY BE TEMPORARILY STOCKPILED AND USED AS TOPSOIL OVER OVER PROPOSED GREEN AREAS SUCH AS PLANT BEDS, SOODED AREAS, AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED.
- A SIGNED, DATED, AND SEALED LETTER FROM A SOLS ENGINEER OR THE ENGINEER OF RECORD CERTIFYING THAT THE AREAS TO BE FILLED HAVE BEEN STRIPPED OF ORGANIC MATERIALS, MUST BE SUBMITTED TO THE CITY PRIOR TO FILLING.
- FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (USE FOR PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).
- DURING SUBDIVISION DEVELOPMENT WHEN FUTURE BUILDING LOTS ARE FILLED AS PART OF THE BUILDING LOTS AT 300 FOOT INTERVALS. THESE TESTS ARE TO BE PERFORMED IN ONE-FOOT VERTICAL INCREMENTS. THE RESULTS OF THESE TESTS ARE TO BE SUBMITTED TO THE CITY UPON COMPLETION OF THE TESTS.
- IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH A SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- STOCKPILES ARE NOT GENERALLY PERMITTED BY THE CITY. WHEN ALLOWED, STOCKPILES SHALL NOT EXCEED SIX FEET IN HEIGHT MEASURED FROM THE ORIGINAL GRADE. AT A MINIMUM, STOCK PILES THAT WILL REMAIN IN PLACE IN EXCESS OF TWENTY DAYS SHOULD BE SEEDD AND MULCHED IMMEDIATELY UPON PLACEMENT OF THE FINAL LIFT.
- SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES. ADEQUATE WATERING METHODS SHOULD BE EMPLOYED TO ALLOW DAILY COVERAGE OF THE ENTIRE LIMITS OF ALL AREAS THAT DO NOT HAVE AN ESTABLISHED VEGETATIVE COVER. METHODS TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, WATER TRUCKS, PERMANENT IRRIGATION SYSTEMS, TEMPORARY SPRINKLER SYSTEMS OPERATED BY PUMPING UNITS CONNECTED TO NET RETENTION PONDS, WATER CANNONS, TEMPORARY IRRIGATION SYSTEMS MOUNTED ATOP STOCKPILE AREAS, AND OTHER METHODS AS DEEMED NECESSARY BY THE CITY.
- ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE.
- ALL FILL TO BE PLACED IN LANDSCAPED AREAS SHALL HAVE A PH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.

STANDARD CONSTRUCTION DETAIL
CONTRACTOR REQUIREMENTS FOR
SITE CLEARING, GRADING, AND EROSION CONTROL
DESIGN AND CONSTRUCTION NOTES

FILE NAME:	EW_R26.DWG
DETAIL REF:	R-26



SILT FENCE NOTES:

- MATERIALS, CONSTRUCTION METHODS AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND DESIGN STANDARDS CURRENT EDITION.
- CONTRACTOR SHALL PROVIDE SILT FENCES AND/OR SYNTHETIC BALES AT ALL STORMWATER DISCHARGE POINTS FOR EROSION CONTROL AND SEDIMENT CONTROL DURING CONST.
- CONTRACTOR SHALL ROUGH GRADE STORM- WATER SWALES AND RETENTION AREAS PRIOR TO CONSTRUCTION OF SITE IMPROVEMENTS.
- CONTRACTOR SHALL MEET ALL PERMIT CONDITIONS AS ESTABLISHED BY THE CITY OF NEW SMYRNA BEACH AND ALL OTHER APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO COUNTY, FDOT, AND THE SJRWMD.

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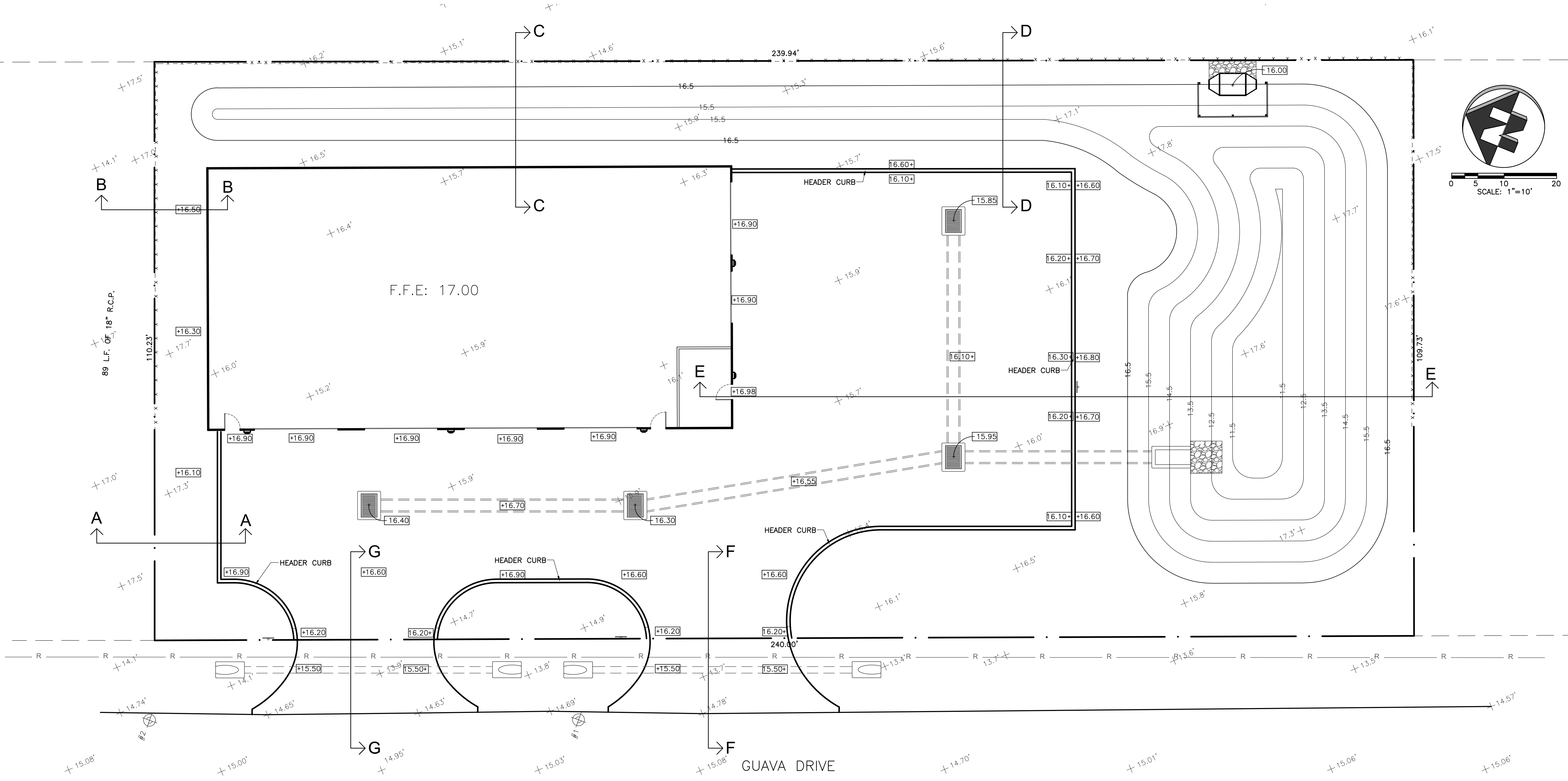
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CLEARING PLAN FOR:
PHILCO CONSTRUCTION
2611 GUAVA DRIVE
EDGEWATER, FLORIDA

REV.	DATE:	NOTES:	CLIENT:
1	06-02-26	R.A.I. #1 - CITY COMMENTS	PHILCO CONSTRUCTION
			DRAFTER: DBA
			CHECKED BY: RD
			PROJECT NO. 24-1424

SHEET NO.
C-3

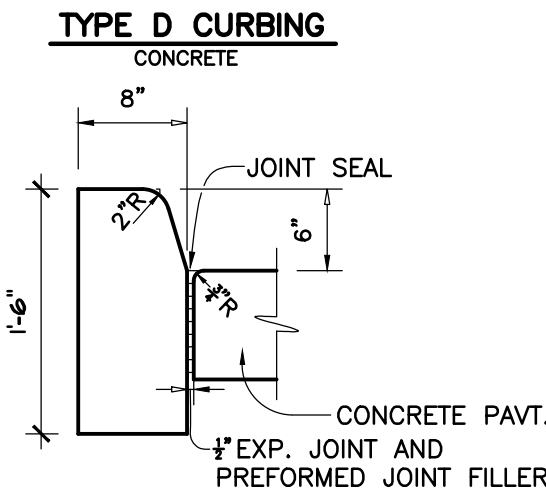
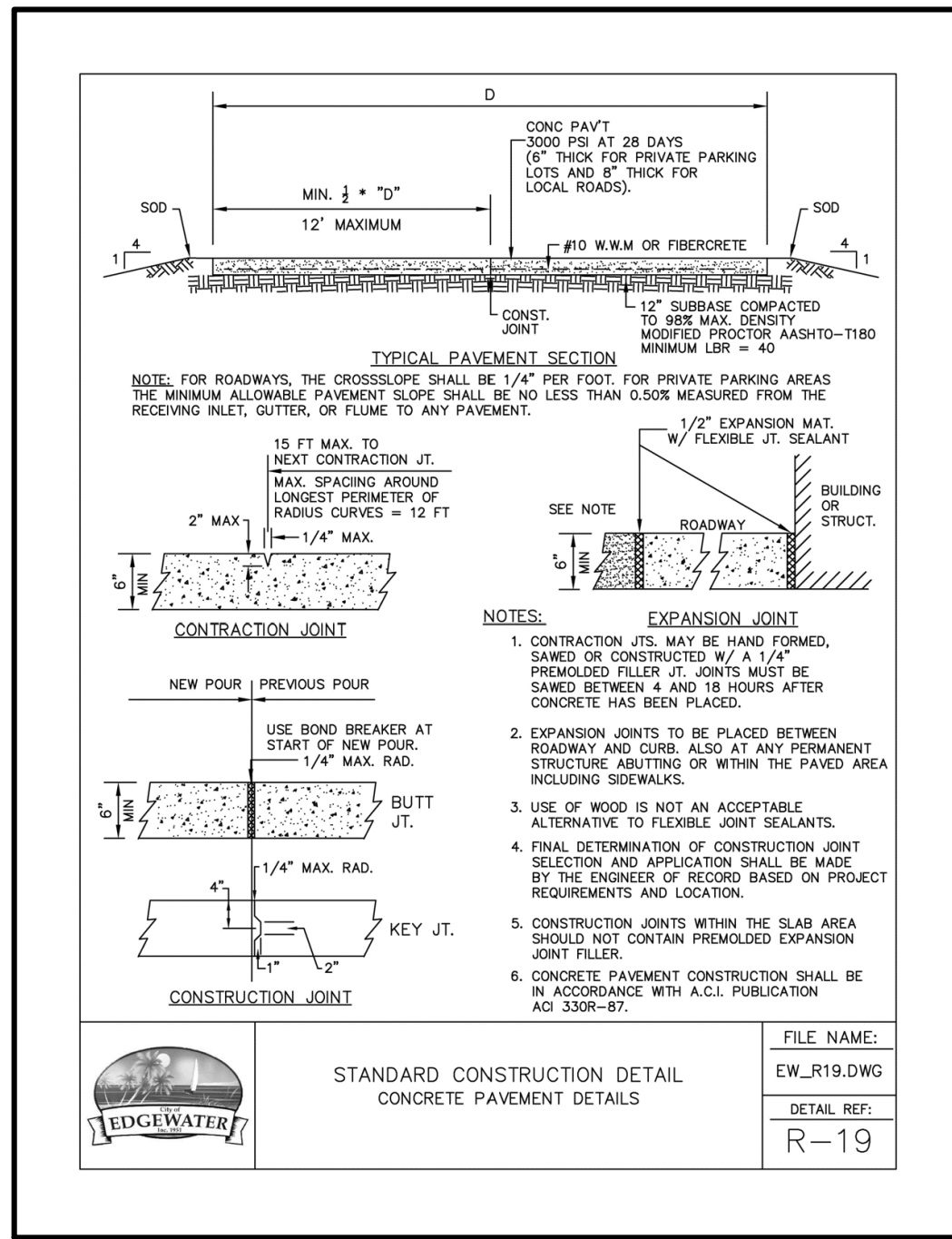


GRADING NOTES:

1. CONTRACTOR TO CALL FOR UTILITY LOCATES AND HAND DIG AROUND ALL EXISTING UTILITIES AND USE EXTREME CAUTION.
2. NO CLEARING OR ROUGH GRADING WILL COMMENCE UNTIL ALL EROSION CONTROL MEASURES ARE IN PLACE. SEE CLEARING PLAN FOR SILT FENCE LOCATION AND INSTALLATION DETAILS.
3. IMMEDIATELY SOD AND STABILIZE ALL SLOPED AREAS TO MAINTAIN PROPOSED GRADES AND TO PREVENT EROSION.
4. ELEVATIONS SHOWN ON PLANS ARE NAVD 88 DATUM.
5. GRADING ELEVATIONS IN MULCHED LANDSCAPED AREAS ARE TO TOP OF FINISHED MULCH.
6. PROPOSED GRADES SHOWN IN BUFFER AND NATURAL VEGETATION AREAS ARE SHOWN. WHERE EXISTING TREES ARE SHOWN TO BE SAVED, LEAVE EXISTING GRADE AROUND TREES TO THE EXTENT POSSIBLE TO PREVENT ROOT DAMAGE.
7. CONTRACTOR TO OBTAIN GEOTECHNICAL INFORMATION TO SATISFY BUILDING FOUNDATION REQUIREMENTS.
8. CONTRACTOR TO REGRADE ROADSIDE SWALE WHERE DISTURBED TO EXISTING GRADE BEFORE CONSTRUCTION AND SOD WITH BAHIA SOD.

PAVING NOTES:

1. ALL UNSUITABLE MATERIAL WILL BE REMOVED FROM BENEATH THE PARKING AND DRIVEWAY AREAS. REPLACE AS NEEDED WITH MATERIAL SUITABLE FOR PROPOSED COMPACTION REQUIREMENTS.
2. ALL PAVEMENT SURFACES ARE PROPOSED TO HAVE POSITIVE DRAINAGE TO THE STORMWATER INLETS. CONTRACTOR WILL ENSURE POSITIVE DRAINAGE THROUGHOUT PARKING LOT. PROPOSED MINIMUM PARKING LOT GRADE IS 1%.
3. ELEVATIONS SHOWN ON PLANS ARE NAVD 1988 DATUM.
4. ALL PAVEMENT DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. INSTALL STOP SIGN AND 24" STOP BAR PER PLAN AND FDOT SPECIFICATIONS, SEE SHEET C-2 FOR LOCATIONS.
6. CONCRETE PARKING LOT TO BE INSTALLED PER CITY STANDARD DETAIL R-19 ON THIS SHEET.
7. HEADER CURBS TO BE CONSTRUCTED PER DETAIL THIS SHEET.
8. IN A.D.A. PARKING SPACE AND ACCESS AISLE, THERE WILL BE A MAXIMUM 2% SLOPE IN ANY DIRECTION.



NOTE: FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT, CONCRETE SHOWN, EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.

"PERMIT SUBMITTAL SET"

PAVING & GRADING PLAN FOR:

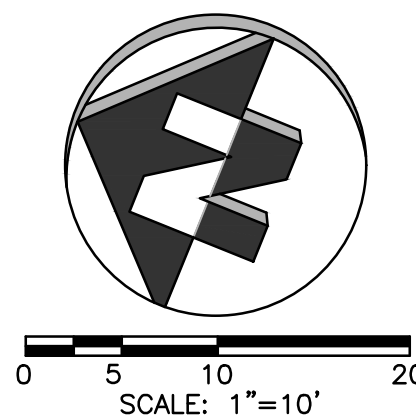
PHILCO CONSTRUCTION
2611 GUAVA DRIVE
EDGEWATER, FLORIDA

REV.	DATE:	NOTES:
1	08-02-26	R.A.I. #1 - CITY COMMENTS
DRAFTER: DBA		
CHECKED BY: RD		
PROJECT NO. 24-1424		

SHEET NO.
C-4

DATE:
01-27-26

**ANDERSON
DIXON**
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RICHARD J. DIXON, P.E.
PROFESSIONAL ENGINEER
FL. REG.# 47544
102 SOUTH ORANGE STREET
NEW SMYRNA BEACH, FL 32168
(386) 428-5834



D I M E N S I O N S														
	D	X	A	B	C	E	F	G	H	T				N
										SINGLE PIPE	DOUBLE PIPE	M PIPE	QUAD. PIPE	
1:2 SLOPE	24"	3'-5"	2.66	3.80	5.91	3.56	7	1.73	3.4	3.50	8.92	12.33	15.75	1.26
	30"	4'-2"	4.16	4.95	7.10	4.7	7	2.00	3.4	5.00	10.33	14.58	18.83	1.29
1:4 SLOPE	24"	3'-5"	2.53	7.18	9.71	7.00	11	1.73	4.0	5.50	8.92	12.33	15.75	1.26
	30"	4'-3"	2.70	9.25	11.95	9.00	13	2.00	4.0	6.00	10.33	14.58	18.83	1.29



"PERMIT SUBMITTAL SET"

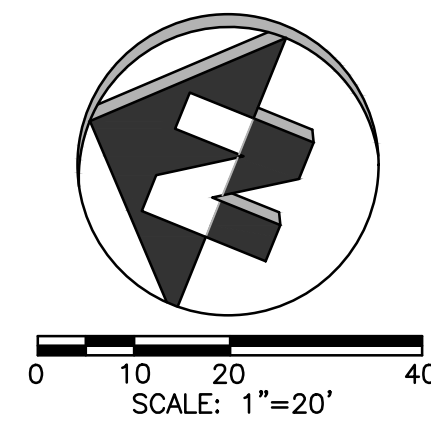
RICHARD J. DIXON, P.E.
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NEW SMYRNA BEACH, FL
32168 (386) 428-5834

DATE:
01-27-26

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REV.	DATE:	NOTES:
1	06-02-26	R.A.I. #1 - CITY COMMENTS
DRAFTER: DBA		CLIENT: PHILCO CONSTRUCTION
CHECKED BY: RD		

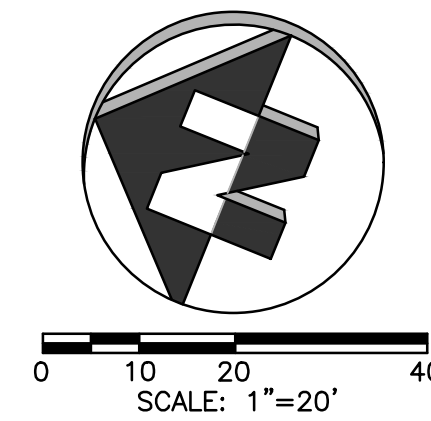
SHEET NO.
C-5



LEGEND	
	EXISTING FLOW DIRECTION
	PROPOSED FLOW DIRECTION

1. ELEVATIONS SHOWN ARE NAVD 88.
2. SEE ALSO SITE SURVEY BY IRELAND SURVEYORS.
3. THE SITE GENERALLY DRAINS TO THE EAST AND WEST.

1. PROPOSED DRAINAGE SYSTEM CONSISTS OF A SWALE AND SHALLOW RETENTION AREA.
2. EMERGENCY OVERFLOW SHALL CONSIST OF THE PROPOSED WEIR TO THE CITY DITCH BEHIND THE SITE.
3. PROPOSED DRAINAGE SYSTEM TO ACCOMMODATE THE CITY OF EDGEWATER 100-YEAR STORM CRITERIA WITH POST DEVELOPMENT DISCHARGE TO 90% OF PREDEVELOPMENT VOLUME.
4. BUILDING DRAINAGE TO BE DIRECTED TO REAR SWALE.



"PERMIT SUBMITTAL SET"

PRE & POST DRAINAGE PLAN FOR:

PHILCO CONSTRUCTION
2611 GUAVA DRIVE
EDGEWATER, FLORIDA

REV.	DATE:	NOTES:
DRAFTER: DBA		CLIENT: PHILCO CONSTRUCTION
CHECKED BY: RD		
PROJECT NO. 24-1424		

SHEET NO.
C-6

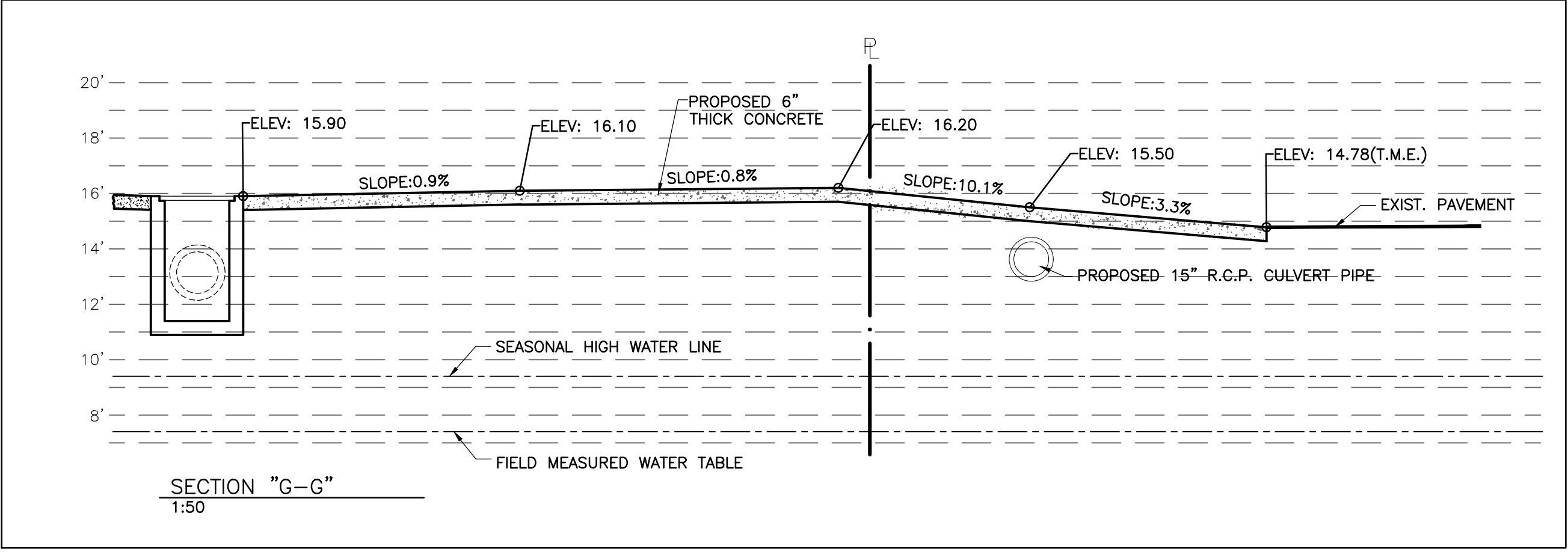
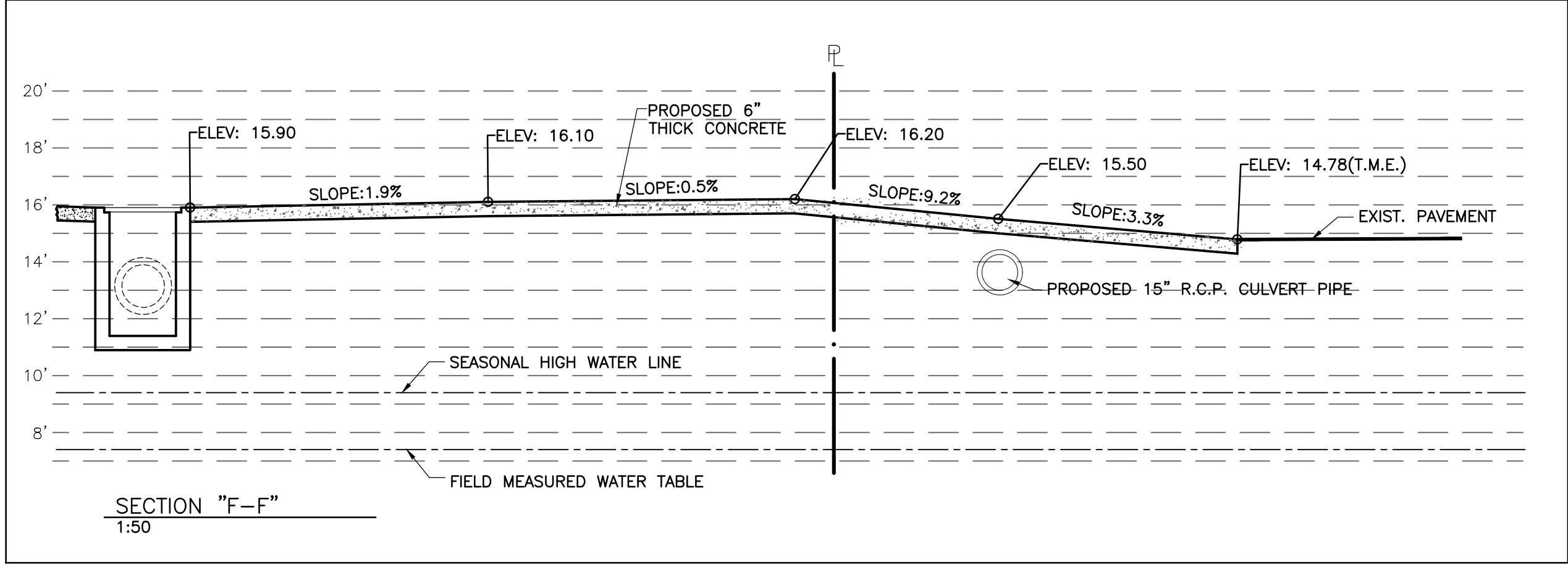
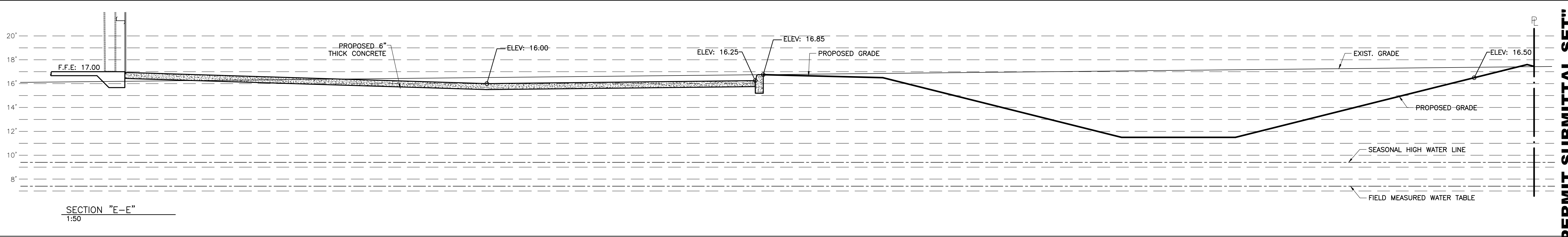
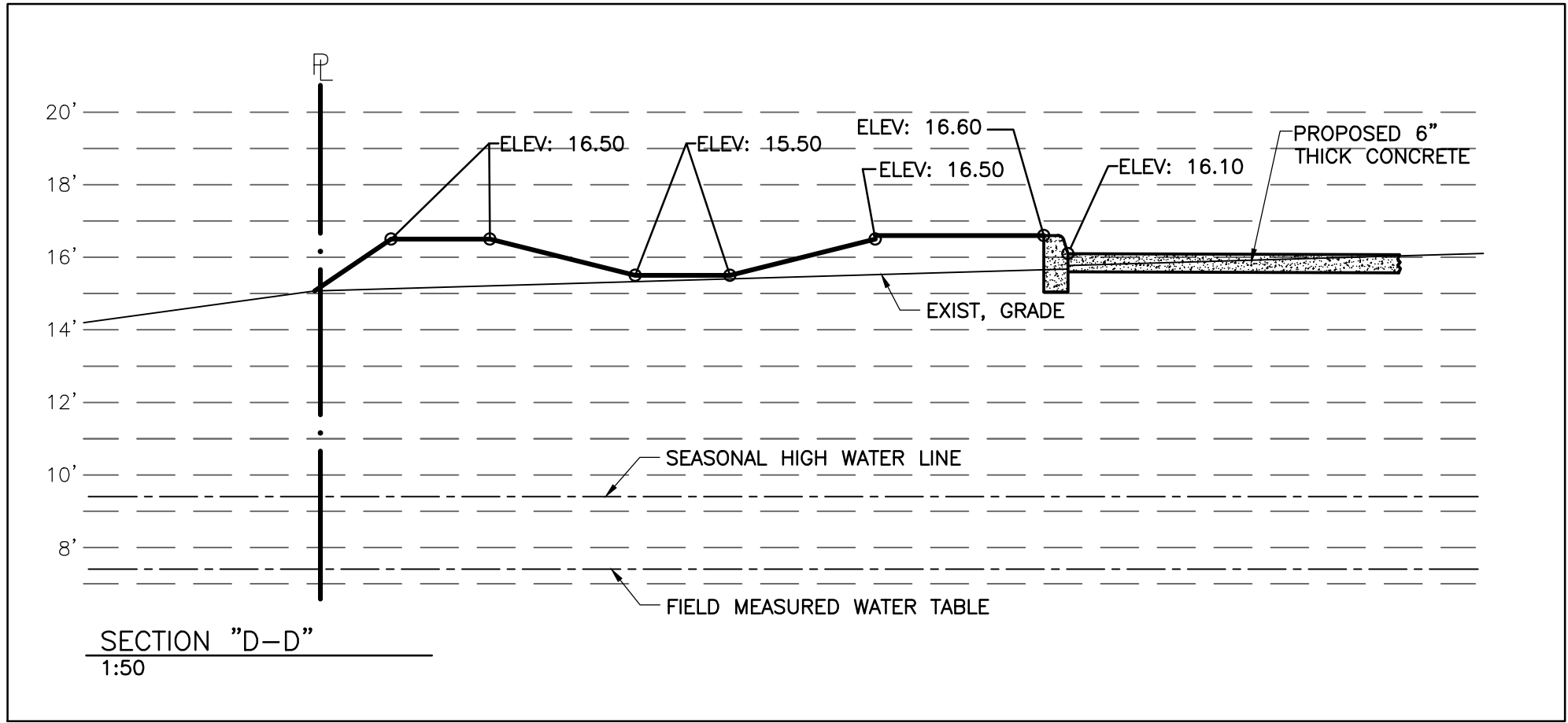
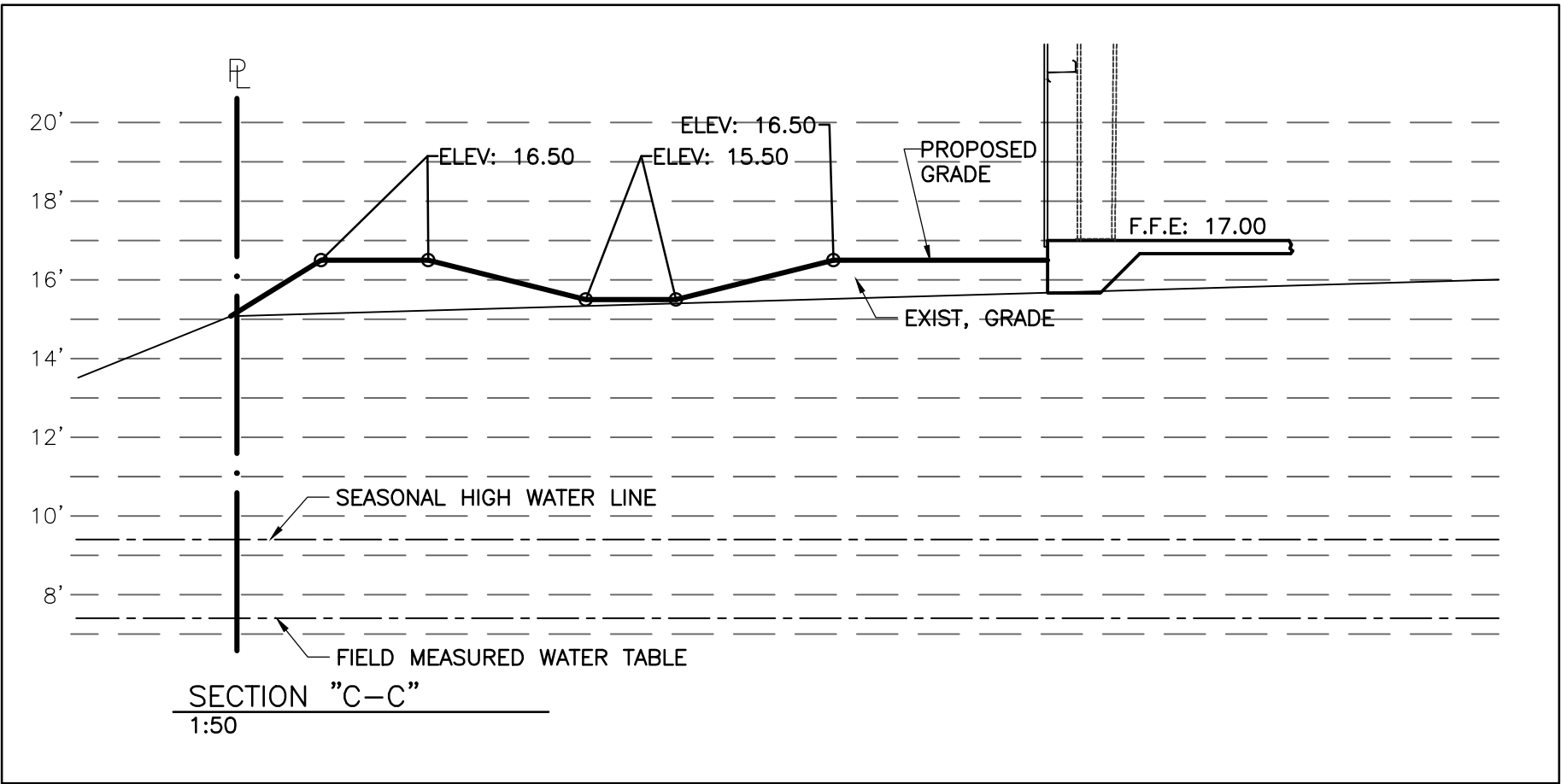
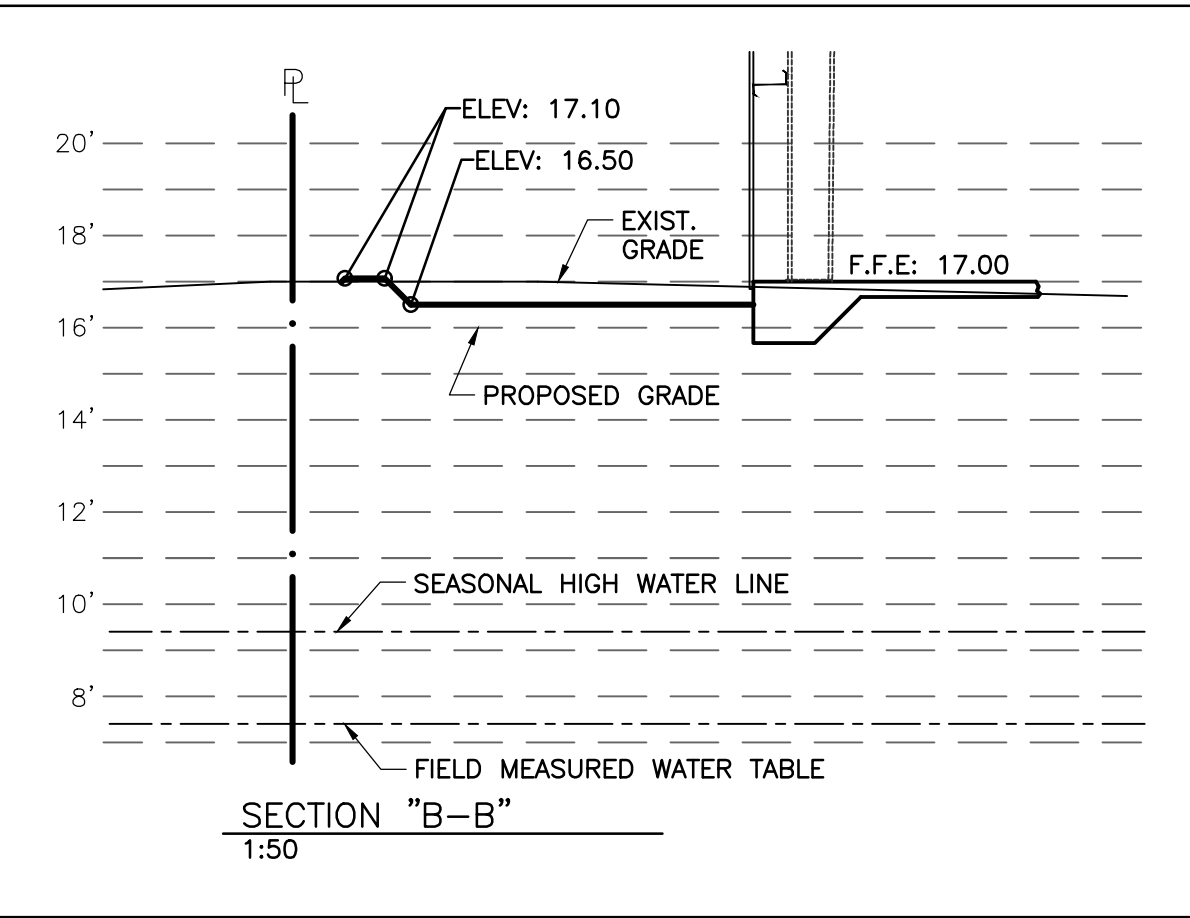
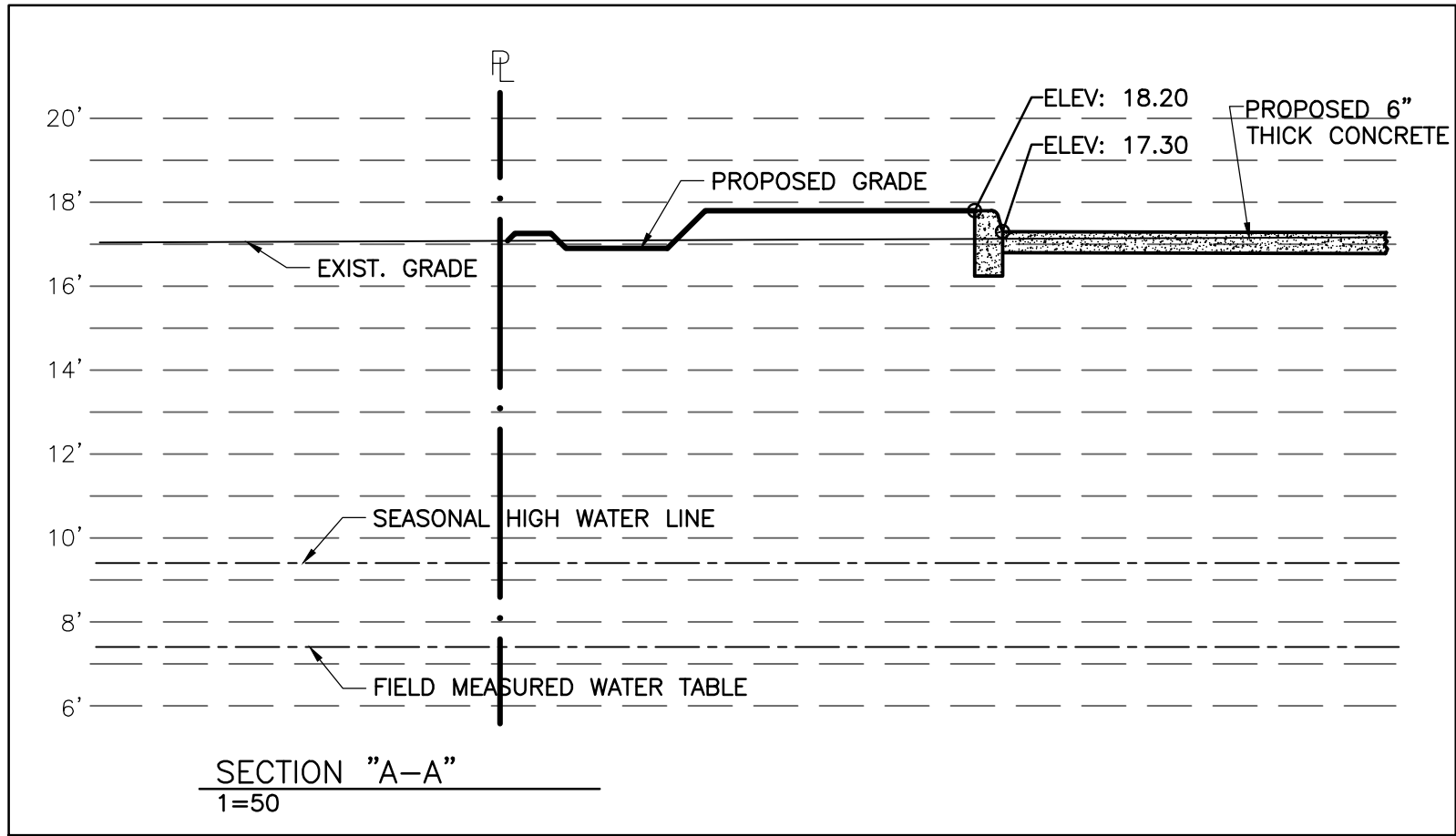
DATE:
01-27-26

**ANDERSON
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PROFILES FOR:

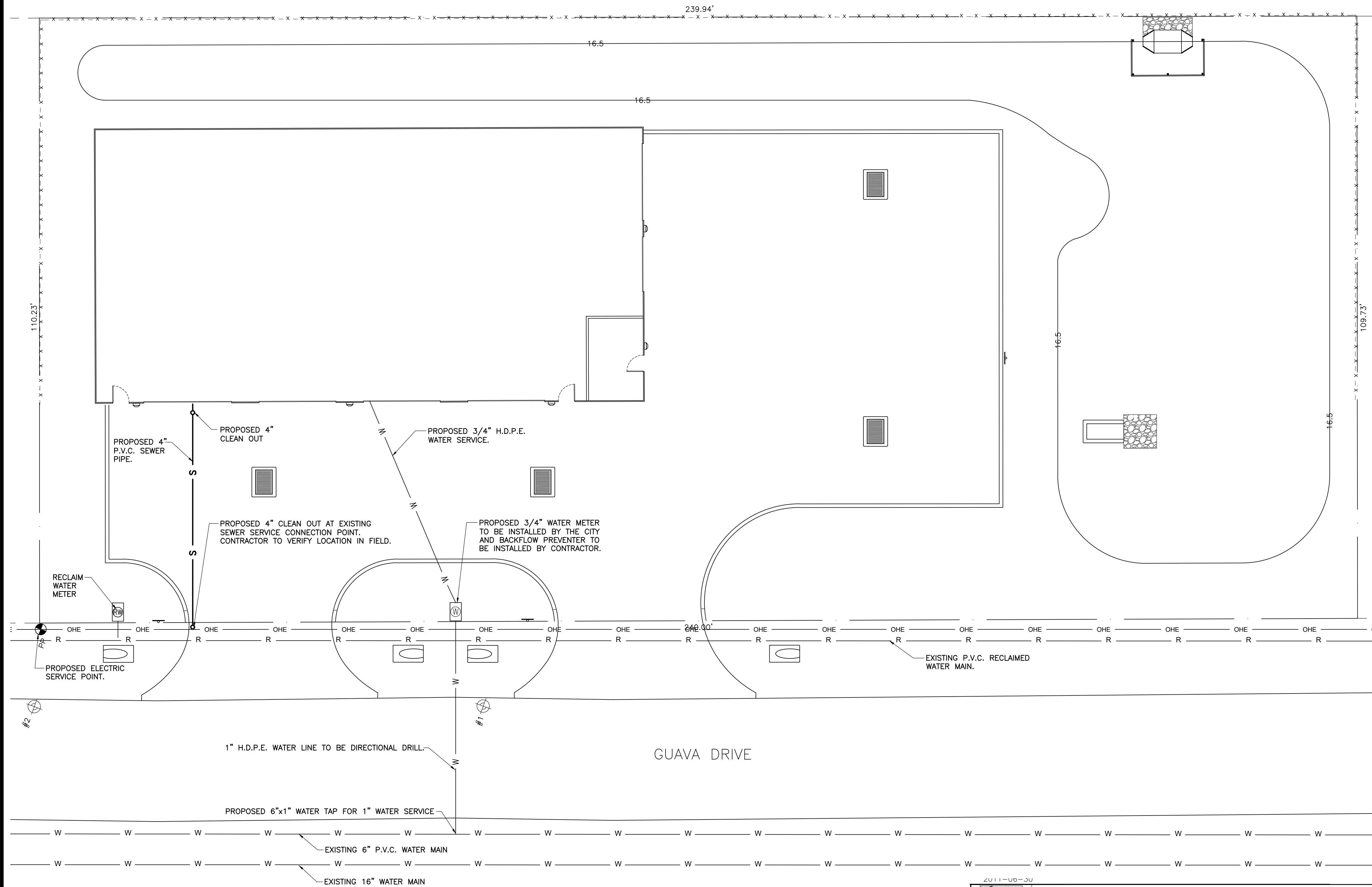
PHILCO CONSTRUCTION

EDGEWATER, FLORIDA

REV.	DATE:	NOTES:
1	06-02-26	R.A.I. #1 - CITY COMMENTS
DRAFTER: DBA CHECKED BY: RD PROJECT NO. 24-1424		
CLIENT: PHILCO CONSTRUCTION		

SHEET NO.
C-7

"PERMIT SUBMITTAL SET"



LEGEND			
—SILT—	SILT FENCE	—OH—	OVERHEAD ELECTRIC
—W—	WATER LINES	—UE—	UNDERGROUND ELECTRIC
—FM—	FORCE MAIN	—RW—	RECLAIM WATER
—S—	SEWER LINES	— — —	PROPERTY LINES

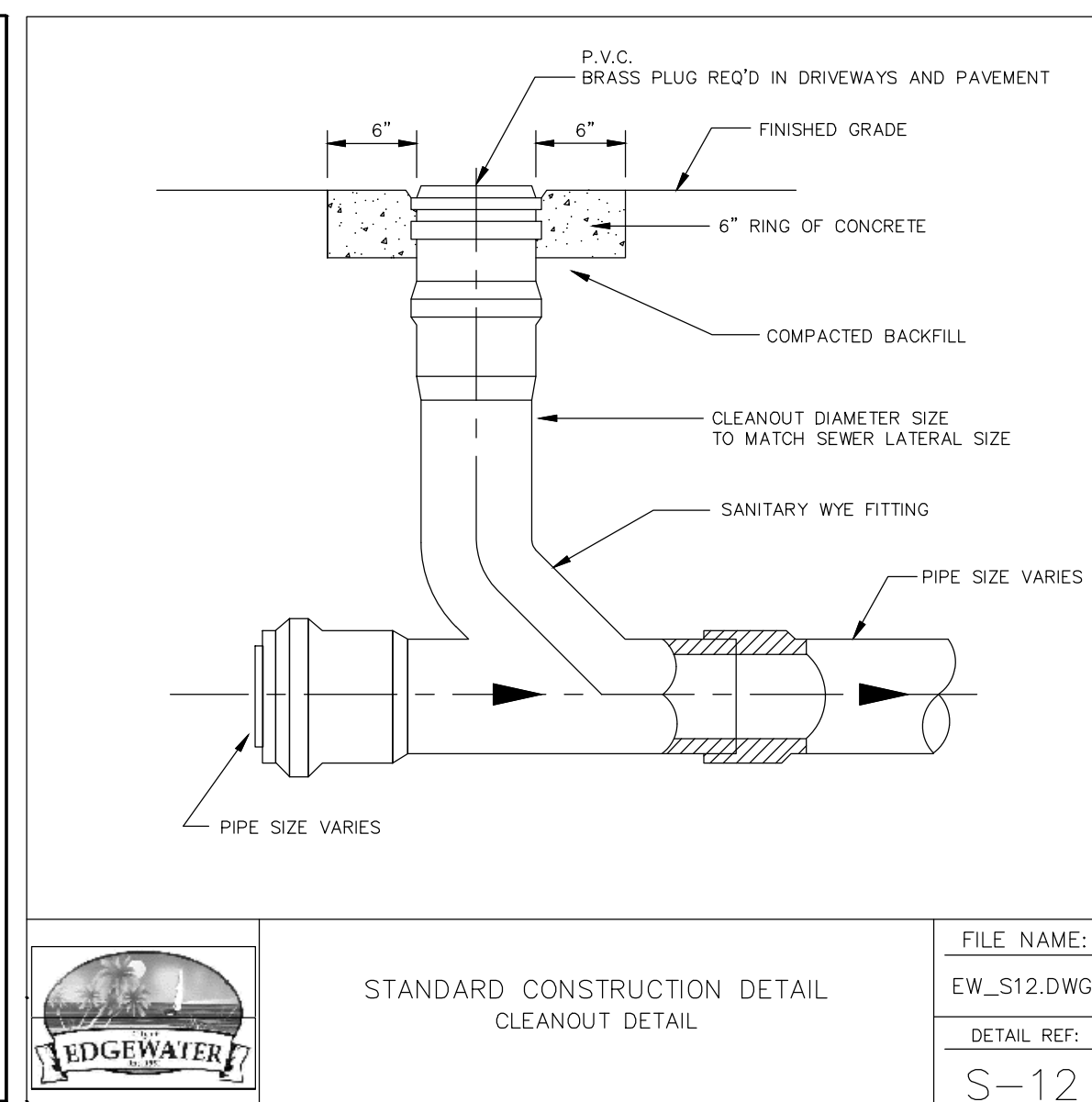
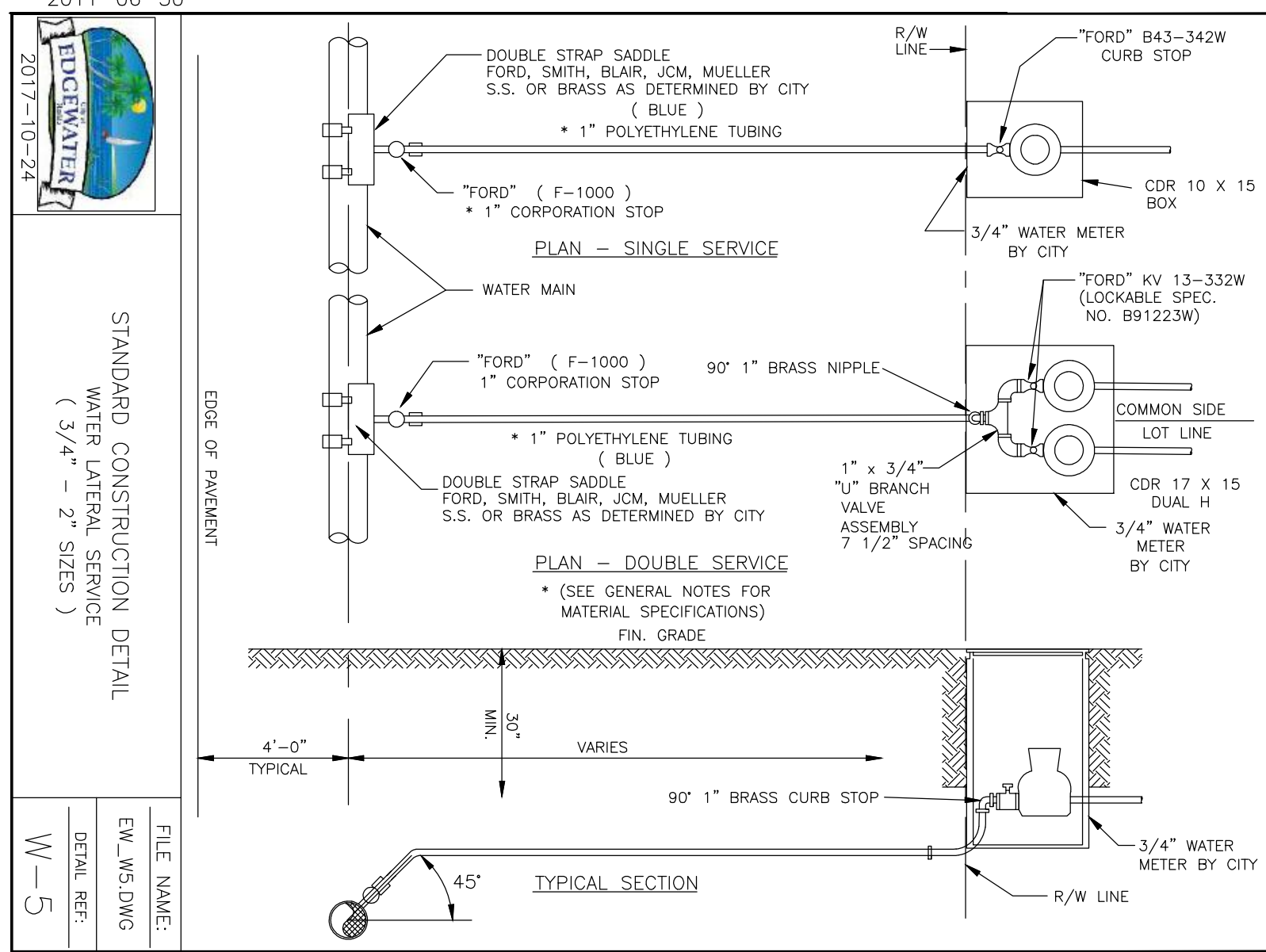
- GENERAL UTILITY NOTES**
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES BEFORE CONSTRUCTION TO OBTAIN POSITIVE LOCATIONS. CONTACT SUNSHINE 811 FOR LOCATIONS. USE EXTREME CAUTION WHEN DIGGING AROUND EXISTING UTILITIES.
 - POTABLE WATER AND SANITARY SEWER SERVICE WILL BE PROVIDED BY THE CITY OF EDGEWATER, ENVIRONMENTAL SERVICES DEPARTMENT. (386)424-2400 EXT. 4007
 - ELECTRIC SERVICE WILL BE PROVIDED BY F.P.L.
 - OWNER WILL SELECT TELECOMMUNICATIONS AND CATV SERVICE PROVIDERS. SERVICES WILL BE UNDERGROUND. GENERAL CONTRACTOR TO COORDINATE LOCATION WITH THE APPROPRIATE PROVIDER.

- ELECTRIC SERVICE NOTES**
- F.P.L. SERVICE POINT WILL BE THE EXISTING POLE NEAR THE NORTHWEST CORNER OF THE SITE.
 - SERVICE CONDUIT TO BE 2 1/2" ELECTRICAL P.V.C. TO BUILDING AND BURIED A MINIMUM 24" DEEP. PROJECT CONTRACTOR TO COORDINATE WITH FPL SERVICE PLANNING REPRESENTATIVE.
 - SEE GENERAL NOTES FOR TELECOMMUNICATION COMPANY SERVICES.

- POTABLE WATER SERVICE NOTES**
- WATER SERVICE CONSTRUCTION MUST ADHERE TO THE CITY OF EDGEWATER STANDARD CONSTRUCTION DETAILS.
 - WATER SERVICE TO BE PROVIDED BY THE EXISTING 6" WATER MAIN IN THE RIGHT-OF-WAY NEAR THE WEST EDGE OF PAVEMENT.
 - CITY OF EDGEWATER TO TAP WATER MAIN PER CITY DETAIL W-5.
 - WATER SERVICE TO BE 40 L.F. OF 1" HDPE TO BE DIRECTIONAL DRILLED FROM TAP TO THE PROPOSED WATER METER LOCATION. WATER METER TO BE INSTALLED BY THE CITY.
 - WATER LINE FROM METER TO BUILDING TO BE 3/4" HDPE.
 - CITY OF EDGEWATER TO INSTALL TAP & METER ASSEMBLY.
 - SEE WATER SERVICE DETAIL W-5.
 - CONTRACTOR TO RESTORE RIGHT-OF-WAY TO AS GOOD OR BETTER THAN EXISTING CONDITIONS, OR AS DIRECTED BY THE CITY ENGINEER.
 - CONTRACTOR TO INSTALL A REDUCED PRESSURE BACK FLOW APPROVED BY THE CITY UTILITY ENGINEER.

- SANITARY SEWER NOTES**
- SANITARY SEWER CONSTRUCTION MUST ADHERE TO THE CITY OF EDGEWATER STANDARD CONSTRUCTION DETAILS.
 - CONTRACTOR TO UTILIZE EXISTING P.V.C. SEWER CLEAN-OUT AT THE RIGHT-OF-WAY LINE. CITY UTILITY STAFF TO AID IN LOCATING.
 - CITY PERSONNEL TO ASSIST IN LOCATING EXISTING CLEAN-OUT.
 - INSTALL CLEAN-OUT AT BUILDING, AND AT RIGHT-OF-WAY LINE.(PER DETAIL S-12)
 - INSTALL 4" SEWER SERVICE PIPE FROM RIGHT-OF-WAY LINE TO BUILDING AT 2% SLOPE(SEE BUILDING PLANS FOR PLUMBING LOCATION).

- RECLAIM WATER NOTES**
- CITY TO TAP RECLAIM MAIN AND INSTALL 1" SERVICE AND METER BOX IN THE RIGHT-OF-WAY.
 - SEE IRRIGATION PLAN.



"PERMIT SUBMITTAL SET"

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DATE:
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UTILITY PLAN FOR:
PHILCO CONSTRUCTION
2611 GUAVA DRIVE
EDGEWATER, FLORIDA

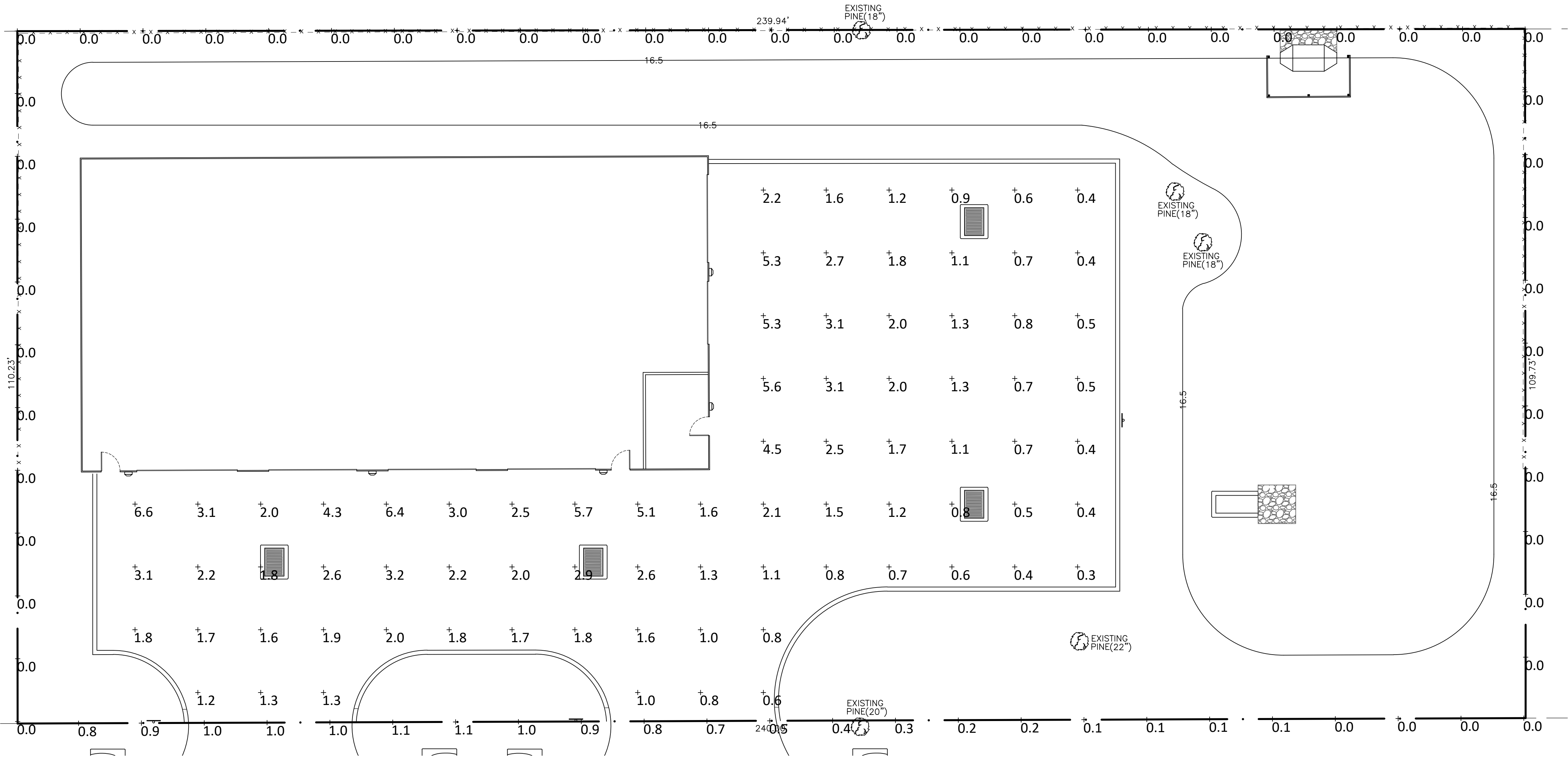
REV.	DATE:	NOTES:
1	06-02-26	R.A.I. #1 - CITY COMMENTS

DRAFTER: DBA
CHECKED BY: RD
PROJECT NO. 24-1424

FILE NAME:
EW_S12.DWG
DETAIL REF:
S-12

FILE NAME:
EW_S12.DWG
DETAIL REF:
S-12

SHEET NO.
C-8



Luminaire Schedule						
FIXTURES MOUNTED AT 15FT A.F.G.						
Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts
	5	W	COOPER LTG: AXCL6ARL	0.912	7809	56.43

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY	Fc	0.10	1.5	0.0	N.A.	N.A.
PROPERTY LINE	Fc	0.00	0.0	0.0	N.A.	N.A.
SITE_Planar	Fc	2.60	6.0	0.6	4.33	10.00

The calculations provided in this report are predicted lighting levels based on the above described input data and characteristics. All information should be reviewed for accuracy, understanding and agreement with all information. Any discrepancies should be noted and the preparer of this report immediately advised to clarify or change as required.

Actual lighting levels may vary from this report due to a variety of circumstances, such as: reflectances, voltage variations, objects blocking or redirecting light, different mounting heights, installation, lamp and ballast tolerances, etc. Room is considered completely empty unless noted otherwise above. Unless specifically stated otherwise, predicted foot candles are not a recommendation of lighting levels.

Ardd & Winter, Inc. assumes no responsibility for any such variances and will not be held responsible for lighting levels different from predicted levels in this report. Recipient of this report, or someone designated by recipient, must verify that lighting fixtures will physically fit within the specified location(s). Catalog numbers of lighting fixtures may not be complete as all conditions may not be known.

Where backgrounds are shown, these are typically used for reference purposes only, unless noted otherwise. Additional details available upon request.

Project	Catalog #	Type
Prepared by	Notes	Date



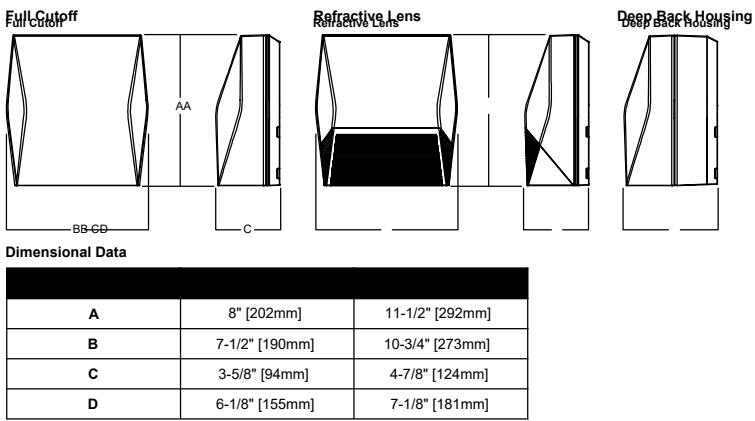
Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 6

Quick Facts

- Available in 14W - 123W (1,800 - 17,000 lumens) models
- Full cutoff and refractive lens models available
- Energy and maintenance savings up to 95% compared to HID
- Energy efficient illumination results in up to 144 LPW
- Replaces 70W up to 450W HID equivalents

Dimensional Details



Lumark Axcnt

Wall Mount Luminaire

Product Features



Product Certifications



Connected Systems

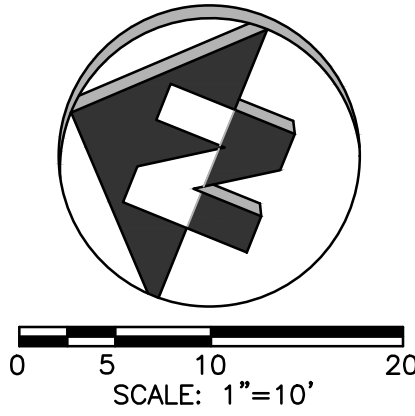
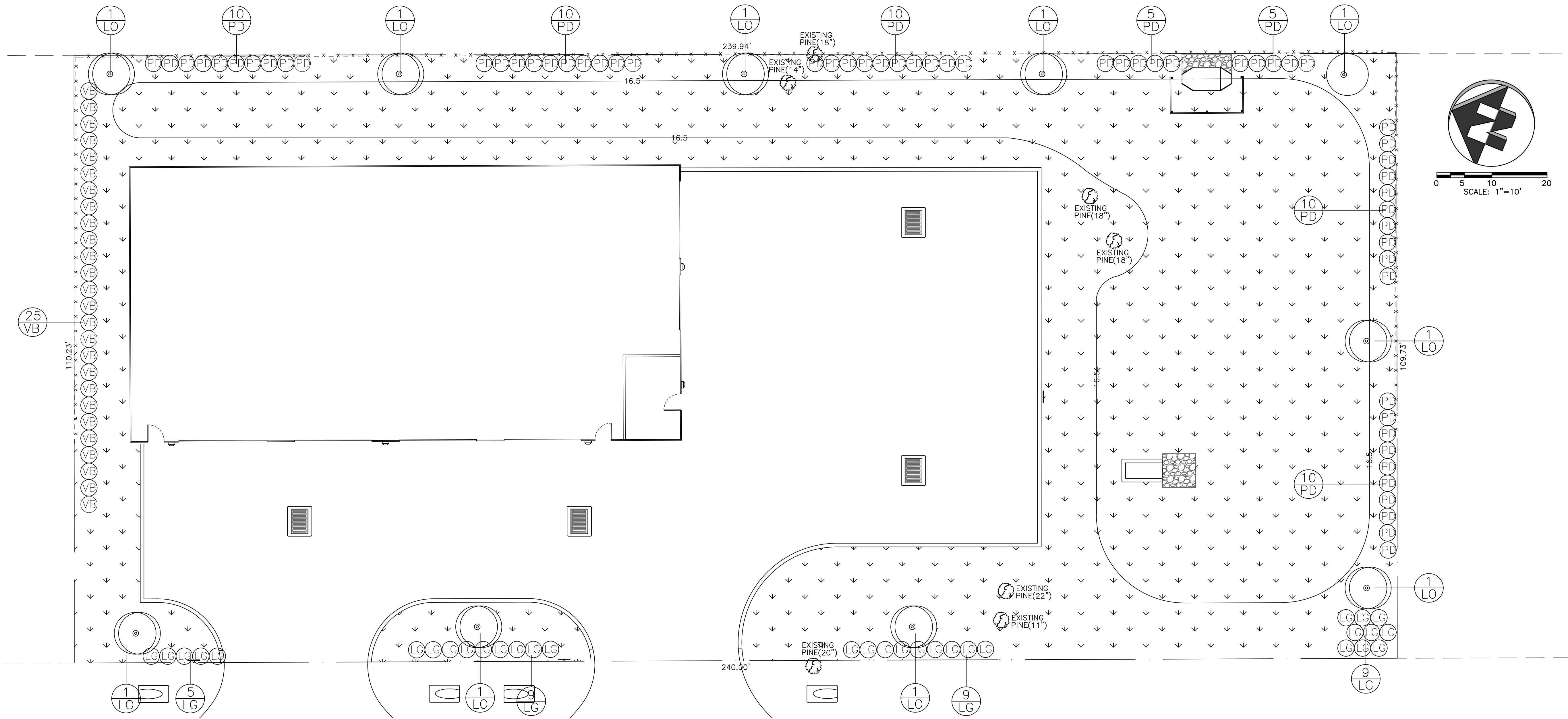
- WaveLux Lite
- Enlighted

Lumark

Ordering Information

SAMPLE NUMBER: AXCS1A-AP-34TV

Domestic Preferences 28	Model Series 1	LED Color Temperature	Color	Options (Add as Suffix)
(Blank)=Standard Blank=Buy American Act TAA=Trade Agreement Act	Full Cutoff AXCS1A-14W AXCS2A-21W AXCS3A-27W AXCS4A-44W AXCS5A-60W AXCS6A-88W AXCS7A-110W AXCS8A-123W AXCS9A-144W AXCS10A-166W AXCS11A-188W AXCS12A-210W AXCS13A-232W AXCS14A-254W AXCS15A-276W AXCS16A-298W AXCS17A-320W AXCS18A-342W AXCS19A-364W AXCS20A-386W AXCS21A-408W AXCS22A-430W AXCS23A-452W AXCS24A-474W AXCS25A-496W AXCS26A-518W AXCS27A-540W AXCS28A-562W AXCS29A-584W AXCS30A-606W AXCS31A-628W AXCS32A-650W AXCS33A-672W AXCS34A-694W AXCS35A-716W AXCS36A-738W AXCS37A-760W AXCS38A-782W AXCS39A-804W AXCS40A-826W AXCS41A-848W AXCS42A-870W AXCS43A-892W AXCS44A-914W AXCS45A-936W AXCS46A-958W AXCS47A-980W AXCS48A-1002W AXCS49A-1024W AXCS50A-1046W AXCS51A-1068W AXCS52A-1090W AXCS53A-1112W AXCS54A-1134W AXCS55A-1156W AXCS56A-1178W AXCS57A-1200W AXCS58A-1222W AXCS59A-1244W AXCS60A-1266W AXCS61A-1288W AXCS62A-1310W AXCS63A-1332W AXCS64A-1354W AXCS65A-1376W AXCS66A-1398W AXCS67A-1420W AXCS68A-1442W AXCS69A-1464W AXCS70A-1486W AXCS71A-1508W AXCS72A-1530W AXCS73A-1552W AXCS74A-1574W AXCS75A-1596W AXCS76A-1618W AXCS77A-1640W AXCS78A-1662W AXCS79A-1684W AXCS80A-1706W AXCS81A-1728W AXCS82A-1750W AXCS83A-1772W AXCS84A-1794W AXCS85A-1816W AXCS86A-1838W AXCS87A-1860W AXCS88A-1882W AXCS89A-1904W AXCS90A-1926W AXCS91A-1948W AXCS92A-1970W AXCS93A-1992W AXCS94A-2014W AXCS95A-2036W AXCS96A-2058W AXCS97A-2080W AXCS98A-2102W AXCS99A-2124W AXCS100A-2146W AXCS101A-2168W AXCS102A-2190W AXCS103A-2212W AXCS104A-2234W AXCS105A-2256W AXCS106A-2278W AXCS107A-2300W AXCS108A-2322W AXCS109A-2344W AXCS110A-2366W AXCS111A-2388W AXCS112A-2410W AXCS113A-2432W AXCS114A-2454W AXCS115A-2476W AXCS116A-2498W AXCS117A-2520W AXCS118A-2542W AXCS119A-2564W AXCS120A-2586W AXCS121A-2608W AXCS122A-2630W AXCS123A-2652W AXCS124A-2674W AXCS125A-2696W AXCS126A-2718W AXCS127A-2740W AXCS128A-2762W AXCS129A-2784W AXCS130A-2806W AXCS131A-2828W AXCS132A-2850W AXCS133A-2872W AXCS134A-2894W AXCS135A-2916W AXCS136A-2938W AXCS137A-2960W AXCS138A-2982W 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LANDSCAPE LEGEND

SYMBOL	QTY.	DESCRIPTION	SPECIFICATIONS	CODE
	7	EXISTING PINES (11", 14", 18", 18") (18", 20", 22")		
	10	LIVE OAK TREE QUERCUS VIRGINIANA	10'-12' HGT. B & B 4" SPREAD MIN., 3" CAL. MIN.	LO
	25	SWEET VIBURNUM SHRUB VIBURNUM ODORATISSIMUM	3 GALLON, CONTAINER 24" HGT., 36" O.C.	VB
	60	PODOCARPUS PODOCARPUS MACROPYLLUS	3 GALLON, CONTAINER 24" HGT., 36" O.C.	PD
	32	LIGUSTRUM SHRUB JAPONICUM	3 GALLON, CONTAINER 24" HGT., 36" O.C.	LG
		MULCHED AREA	AS INDICATED ON PLAN APPROXIMATELY 25 C.Y.	
		SODDED AREA*	AS INDICATED ON PLAN	

*ST. AUGUSTINE SOD EXCEPT IN REAR RETENTION AREA BELOW CONTOUR 15.0 USE DROUGHT TOLERANT BAHIA SOD.

LANDSCAPE GENERAL NOTES

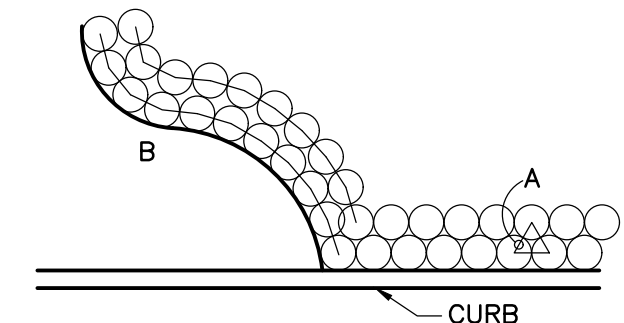
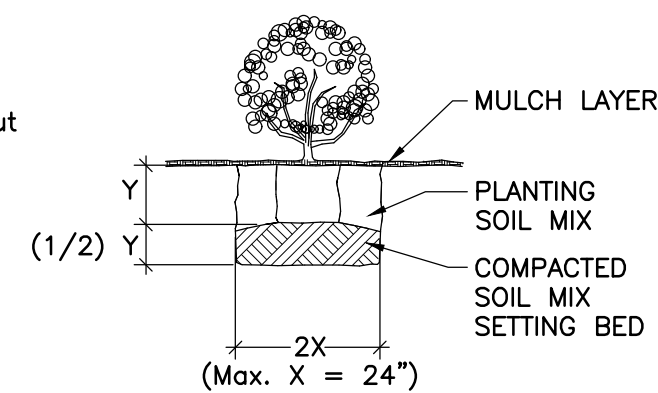
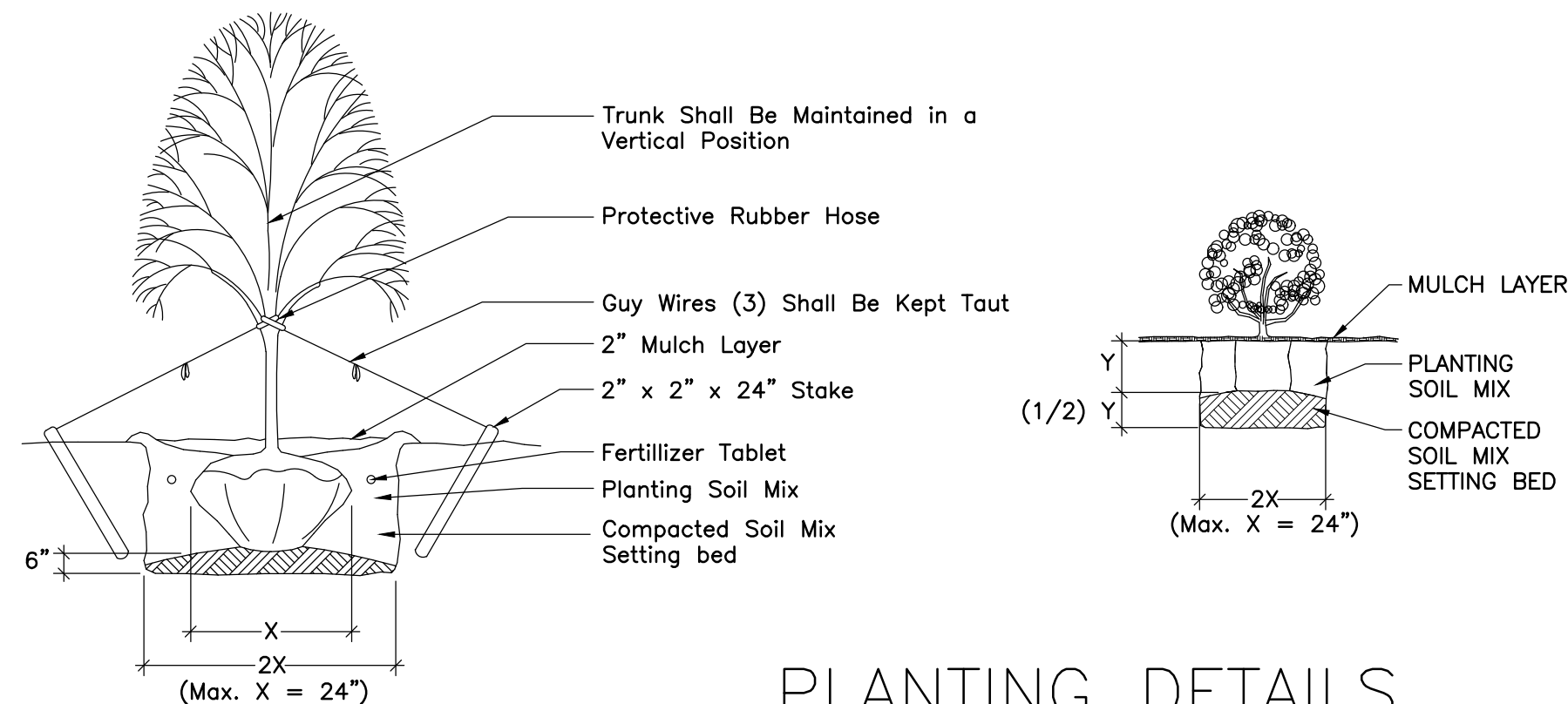
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR FLORIDA #1 OR BETTER AS DESCRIBED IN THE CURRENT "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, OR THEIR EQUAL AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- PLANTING AREAS SHALL BE COVERED IN 3" THICK OF GRADE "A" SHREDDED CYPRESS OR EQUIVALENT MULCH MATERIAL.
- ALL DISTURBED PERVIOUS AREAS TO BE SODDED, UNLESS OTHERWISE NOTED ON THE LANDSCAPING PLANS.
- SOD IS TO BE WEED FREE AND INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED.
- ALL DIMENSIONS SHALL BE FIELD CHECKED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE SIGNATURE OF THESE PLANS.
- THE LANDSCAPE CONTRACTOR SHALL INSURE THAT THIS WORK SHALL NOT DISTURB ESTABLISHED OR PROPOSED DRAINAGE PATTERNS.
- ALL EXISTING TREES ARE TO BE PROTECTED. NO FILL MATERIAL OR HEAVY EQUIPMENT WILL BE ALLOWED AROUND EXISTING TREES TO REMAIN.
- THE DRIP LINES OF EXISTING TREES TO REMAIN ARE TO BE PROTECTED WITH A TEMPORARY WOOD BARRICADE FENCE OR PROPERLY STAKED CONSTRUCTION FENCING MESH. SEE CLEARING PLAN FOR DETAILS.
- ALL TREES THAT DO NOT FALL WITHIN A PLANTING BED SHALL HAVE A 5 FOOT DIAMETER AREA OF MULCH AROUND THE TRUNK. KEEP MULCH 2" AWAY FROM THE SURFACE OF THE TREE TRUNK.
- THE PH OF FILL DIRT SHALL BE BETWEEN 5.5 AND 7.5 AND BE FREE OF ANY CONSTRUCTION DEBRIS. FILL MUST ALSO BE FREE OF ROCKS GREATER THAN 2".
- MULCHED AREAS TO BE SURROUNDED BY COMMERCIAL GRADE EDGING MATERIAL TO PREVENT MULCH ENCROACHING INTO RETENTION AREAS AND STORMWATER INLETS.
- SHRUBS TO BE A MINIMUM 24" HIGH WHEN PLANTED.

PROJECT LANDSCAPE NOTES:

- PROJECT IS REQUIRED TO MEET THE CITY OF EDGEWATER LAND DEVELOPMENT REGULATIONS, SECTION 21-54, LANDSCAPING REQUIREMENTS.
- LANDSCAPE BUFFERS ARE 10' WIDE.
- THE PROJECT TREE PRESERVATION AREA IS DEPICTED ON THE CLEARING PLAN.
- NO NATIVE SPECIES TREES WILL BE REMOVED IN THE TREE PRESERVATION AREAS IF THE PROPOSED GRADE IS TO REMAIN WITHIN 12" OF THE EXISTING GRADE.
- ALL AREAS NOT SHOWN TO BE MULCHED WILL BE SODDED.
- PLANT SPECIES SELECTED ARE NATIVE AND GENERALLY REQUIRE LOW WATER USAGE.
- ALL CHANGES TO LANDSCAPE MATERIAL MUST BE APPROVED BY THE CITY BEFORE INSTALLATION.
- PROJECT IRRIGATION TO BE SERVED BY EXISTING RECLAIMED WATER.

TREE PRESERVATION AREAS (SEE CLEARING PLAN FOR LOCATIONS)

BUFFER LOCATION:	SQUARE FOOT AREA	% OF SITE
TREE PRESERVATION AREA #1	1,262 SQ. FT.	4.8%
TREE PRESERVATION AREA #2	1,545 SQ. FT.	5.9%
TREE PRESERVATION AREA #3	1,904 SQ. FT.	7.2%
TREES TO BE PRESERVED		7



- SHRUBS & GROUNDCOVERS ADJACENT TO STRAIGHT EDGES SHALL BE TRIANGULAR SPACED IN ROWS PARALLEL TO THE STRAIGHT EDGE.
- SHRUBS & GROUNDCOVERS ADJACENT TO CURVED EDGES SHALL BE PLANTED IN ROWS PARALLEL TO THE CURVED EDGE.

PLANTING DETAILS

"PERMIT SUBMITTAL SET"

LANDSCAPE PLAN FOR: PHILCO CONSTRUCTION 2611 GUAVA DRIVE EDGEWATER, FLORIDA

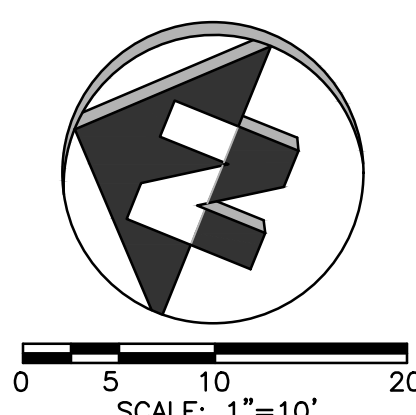
REV.	DATE:	NOTES:
1	06-02-26	R.A.I. #1 - CITY COMMENTS
DRAFTER: DBA CHECKED BY: RD PROJECT NO. 24-1424		

SHEET NO.
L-1

DATE:
01-27-26

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